



Pearland Economic Development Corporation
Proposal #2021-01
Landscape Maintenance for Entryways & Corridors

The Pearland Economic Development Corporation (PEDC) is soliciting Proposal(s) for **Entryway & Landscape Maintenance in Various Rights-of-Way and Corridor Medians**. Proposals shall be received no later than **11:00 A.M., CST, Monday, June 14, 2021**. Proposals received after the deadline stated herein will not be considered for the award of the contract and shall be considered void and unacceptable. At the time stated above, proposals will be competitively unsealed and read at PEDC, 3519 Liberty Drive, Suite 350, Pearland, TX 77581.

A non-mandatory pre-proposal conference will be held via Webex virtual meeting at 11:00 a.m. on June 3, 2021. Participants *should be online by 10:55 a.m. CST to sign in for the meeting*. **Join the pre-proposal conference from the following meeting link: <https://bit.ly/3hLHT0l> or you may also join by phone by calling: 408-418-9388, and entering access code: 187 990 0188**

Electronic Proposal Documents, including Plans, Technical Specifications and Proposal Forms may be obtained from PEDC at www.pearlandedc.com/landscaperfp or requested by appointment (281-997-3006) at:

Pearland Economic Development Corporation
3519 Liberty Drive, Suite 350
Pearland, TX 77581

Respondent should submit hard copies of a proposal to the address below. Hard-copy submissions should include one (1) original, two (2) copies, and one (1) electronic version of the proposal (flash drive preferred). All should be submitted in a sealed envelope clearly bearing the name and address of the respondent and marked with the RFP #2021-01 on the outside of submittal envelope. **Hard-copy proposals should be submitted to:**

Pearland Economic Development Corporation
3519 Liberty Drive, Suite 350
Pearland, TX 77581

QUESTIONS REGARDING PROPOSAL SPECIFICATIONS: All questions regarding this proposal should be submitted via email to bwhittaker@clarkcondon.com. Questions and answers will be distributed to all known specification holders. **Questions should be submitted in writing no later than 5:00 p.m., CST, on Monday, June 7, 2021.** **Questions may be submitted via email or hardcopy. Questions submitted via hardcopy should be submitted to:**

Clark Condon Associates
Brandon Whittaker
10401 Stella Link Road
Houston, TX 77025
713-871-1414

The PEDC is aware and appreciative of the time and effort you expend in preparing and submitting bids. Please notify the Project Manager, Jessica Byerly, in writing of any Proposal requirements that are causing you difficulty in responding to our Proposal by emailing jbyerly@pearlandedc.com. We want to make the process as convenient as possible so that all responsible bidders can compete for the PEDC's business.

NOTE: Facsimile and/or email transmittals shall not be accepted as valid bids.

SECTION I – GENERAL SPECIFICATIONS

1.0 INTENTION OF SPECIFICATIONS

The PEDC is accepting bids from qualified vendors for an annual contract to provide Landscape Maintenance for PEDC Entryways and Corridors in full accordance with the specifications, terms and conditions contained in this Proposal specification.

It is the intent of the PEDC to award the contract to a single Vendor; however, the PEDC reserves the right to accept or reject any and all bids, to accept any Proposal deemed advantageous and to waive irregularity in the bids. By bidding, the bidder acknowledges and will adhere to all Proposal specifications as stated within this Proposal packet.

NO PERSON has the authority to verbally alter these specifications. Any changes to specifications will be posted on the PEDC's website.

2.0 TERM OF CONTRACT

Contract term shall be one (1) year from date of award. Upon completion of the term of the original contract, and upon the mutual agreement of both parties, the original contract may be renewed for two (2) additional one (1) year periods. The unit prices of all items purchased under this annual contract are firm for the first tri-annual period of this contract. However, if the option to renew for additional one-year period(s) is exercised by the PEDC, a price adjustment upward may be requested by the Vendor by the application of the formula set forth in the paragraph below. The index to be used in the computation of the price adjustment shall be the "All Items Index" item under the "U.S. PEDC Average" category as quoted in the publication Consumer Price Index for the Houston-Galveston-Brazoria Consolidated Metropolitan Statistical Area, which is issued by the U.S. Department of Labor, Bureau of Labor Statistics.

The index for the month most recently published at the time of Proposal award shall be used as a base for determining price adjustment(s). The index for the month most recently published at the time of contract expiration/possible renewal shall be used in determining the adjusted contract price(s) for ensuing contract period(s), should renewal option(s) be exercised, and unit price adjustments be requested. Contract price adjustments shall be determined as follows: Unit Price % change (the point difference between the base index and the subsequent specified index is divided by the beginning index points and multiplied by 100) in the index equals amount of price change eligible for adjustment. Whenever a price adjustment is made pursuant to this clause in contracts with multiple renewal options, the index that was used for determining a current adjustment(s) shall become the new base index for determining further adjustments. There shall be a minimum of at least twelve months between price adjustments for contracts having multiple renewal options.

3.0 PROPOSAL PREPARATION

- 3.1 **GENERAL INSTRUCTIONS:** Bidders should carefully examine all terms, conditions, specifications and related documents. Should a bidder find discrepancies in or omissions from the specifications or related documents, or should there be doubt as to their meaning, the City Purchasing Office should be notified immediately for clarification prior to submitting the bid. In the event of any conflict between the terms and conditions of these requirements and the specifications, the specifications shall govern. In the event of any conflict of interpretation of any part of this overall document, the City's interpretation shall govern.
- 3.2 **DOCUMENTATION:** Bidder shall provide with this Proposal response all documentation required herein; failure to provide this information may result in rejection of bid.

- 3.3 DESCRIPTIONS: It is the intent of the PEDC to be descriptive, not restrictive, and to establish a desired quality level of service or to meet a pre-established standard of quality. Bidders should respond to listed items. The PEDC shall act as a sole judge in determining quality and acceptability of services offered.
- 3.4 REFERENCES: PEDC requests bidder to supply, with this bid, a list of three (3) references where your firm has supplied like products or services. Include name of firm, address, telephone number, e-mail address and contact name. **Use the Vendor References Form, located in the Attachments tab of the e-bid.**
- 3.5 PRICING: Bidders are instructed to Proposal the items listed in the Line Items tab of the e-Proposal system as specified. Prices for all goods and/or services shall be firm for a minimum of 60 days beyond the Proposal opening date to allow ample time for PEDC Board and, as necessary, City Council approval of the purchase. **Prices shall be all inclusive (labor and materials for example should be included on each line item).** No price changes, additions or subsequent qualifications will be honored after the Proposal opening. Additional charges not shown on the Proposal will not be honored. All prices must be in ink. Bidders should refer to Section II – Technical Specifications, page 10, for further information on pricing criteria.
- 3.6 SALES TAX: PEDC is exempt by law from payment of Texas Sales Tax and Federal Excise Tax and will provide its tax exemption certificate to awarded bidder. **Do not include tax in bid.**
- 3.7 ADDENDA: Any interpretations, corrections or changes to this Proposal and specifications will be made by addenda. Sole issuing authority of addenda shall be vested in the City Purchasing Office. Addenda will be provided via City e-bidding system, located at <https://pearland.ionwave.net>. Bidders shall acknowledge receipt of all addenda in the appropriate section of the Proposal sheet. **It is the responsibility of any bidder to avail themselves to any addenda prior to Proposal closing.**

4.0 **RECEIPT OF BIDS**

- 4.1 LATE BIDS: Bids received after the submission deadline will be considered void and unacceptable. PEDC is not responsible for lateness or non-delivery of mail, carrier, etc. The date/time submitted in the PEDC's office shall be the official time of receipt for hard copy responses, or the date/time submitted in the e-Proposal system for electronic submittals.
- 4.2 ALTERING BIDS: Bids cannot be altered or amended after submission deadline. Any alterations or erasures made before opening time on hard copy submittals must be initialed by the signer of the bid, guaranteeing authenticity.
- 4.3 WITHDRAWAL OF BIDS: Any Proposal may be withdrawn prior to the scheduling time for opening. Notice to withdraw the Proposal must be in writing and submitted to the PEDC prior to the scheduled time for opening bids. Any Proposal withdrawal notice received after the deadline for receiving bids shall not be considered.
- 4.4 PROPOSAL AWARD: Criteria for award of the Proposal shall include the following. These factors, among others identified herein, will be used to evaluate your capability as a Vendor and in selecting the Proposal that provides the best value for the PEDC.
- 4.4.1 Price;
 - 4.4.2 Reputation of the Bidder and of the Bidder's goods or services;
 - 4.4.3 Quality of the Bidder's goods or services;
 - 4.4.4 Extent to which the goods or services meet the PEDC's needs;
 - 4.4.5 Bidder's past relationship with the PEDC;
 - 4.4.6 The impact on the ability of the PEDC to comply with laws and rules relating to contracting with historically underutilized businesses (HUB) and non-profit organizations employing persons with disabilities;

- 4.4.7 Total long-term cost to the PEDC to acquire the Bidder's goods or services;
- 4.4.8 Any relevant criteria specifically listed in the request for bids.

By submitting a bid, each Bidder agrees that if their Proposal is accepted by PEDC, that they will furnish all items and services upon which prices have been tendered and upon the terms and conditions in the proposal/contract.

The awarded vendor shall not commence work under these terms and conditions of the contract until all applicable Certificates of Insurance, Performance and Payment Bonds and Irrevocable Letters of Credit (if required) have been approved by the PEDC and he/she has received notice to proceed in writing and an executed copy of the contract and purchase order from the PEDC.

5.0 TERMS AND CONDITIONS

- 5.1 BIDS MUST COMPLY with all state, county and local laws concerning this type of good or service.
- 5.2 REMEDIES: The awarded bidder and PEDC agree that both parties have all rights, duties and remedies available as stated in the Uniform Commercial Code.
- 5.3 FUNDING: Funds for payment have been provided through the PEDC budget approved by the PEDC Board for this fiscal year only. State of Texas statutes prohibit the obligation and expenditure of public funds beyond the fiscal year for which a budget has been approved. Therefore, anticipated orders or other obligations that may arise past the end of the current PEDC fiscal year shall be subject to budget approval by the PEDC Board. The PEDC's fiscal year is October 1 through September 30.
- 5.4 CONFLICT OF INTEREST: No public official shall have interest in this contract except in accordance with Vernon's Texas Codes Annotated, Local Government Code Title 5, Subtitle C, Chapter 171. **Complete the Conflict of Interest Questionnaire (CIQ) located in the Attachments tab and turn in with bid.**
- 5.5 ETHICS: The bidder shall not offer or accept gifts or anything of value or enter into any business arrangement with any employee, official or agent of PEDC. More than one Proposal on any one contract from a firm or individual under different names shall be grounds for rejection of all bids in which the firm or individual has an interest. One or all bids will be rejected if there is any reason to believe that collusion exists between bidders.
- 5.6 SEVERABILITY: If any section, subsection, paragraph, sentence, clause, phrase or word of these requirements or specifications shall be held invalid, such holding shall not affect the remaining portions of these requirements and the specifications and it is hereby declared that such remaining portions would have been included in these requirements and the specifications as though the invalid portion had been omitted.
- 5.7 HOUSE BILL 89 VERIFICATION: The Offeror shall not Boycott Israel during the term of the resultant contract; meaning Offeror will not refuse to deal with, terminate business activities with, or otherwise take any action that is intended to penalize, inflict economic harm on, or limit commercial relations specifically with Israel, or with person or entity doing business in Israel or in an Israeli-controlled territory.
- 5.8 PEDC may, at any time, request a meeting to discuss performance, service, etc.
- 5.9 Bidder shall not subcontract any tasks associated with this contract without prior written consent of the PEDC.

- 5.10 Bidders must make every effort to comply with Chapter 176 of the Texas Local Government Code. Chapter 176 mandates the public disclosure of certain information concerning persons doing business or seeking to do business with the PEDC, including affiliations of business and financial relationships such persons may have with PEDC officers. By doing business or seeking to do business with the PEDC, including submitting a response to this Invitation to Bid, you acknowledge that you have been notified of the requirements of Chapter 176 of the Texas Local Government Code and you are representing that you are in compliance with them.
- 5.11 A contract will not be awarded to any party that has been debarred, suspended, excluded or ineligible for participation in federal assistance programs.
- 5.12 In the event an awarded Contractor becomes debarred, suspended, excluded or ineligible for participation in federal assistance programs after award of contract, the awarded contract may be cancelled without notice.

6 QUALITY CONTROL

Goods supplied under this contract shall be subject to approval as to quality and must conform to the highest standards of manufacturing practice. Items found defective or not meeting specifications shall be replaced at the Vendor's expense within a reasonable period of time. Payment for defective goods or goods failing to meet specifications is not due until 30 days after satisfactory replacement has been made.

7 WARRANTY

Awarded bidder shall warrant that all items or services shall conform to the proposed specifications and all warranties as stated in the Uniform Commercial Code and be free from all defects in material, workmanship, and title.

8 INDEMNIFICATION

- 8.1 The bidder shall indemnify, defend, and hold the City of Pearland and PEDC, their officers, agents, and employees, harmless from any claim, loss, damage, suit, and liability of every kind, including all expenses of litigation, court costs, and attorneys' fees, for injury to or death of any person, or for damage to any property, arising from or caused by any act or omission of bidder, its officers, employees, agents, or subcontractors, in performing its obligations under this contract.
- 8.2 The bidder assumes full responsibility for the work to be performed hereunder and hereby releases, relinquishes, and discharges the City of Pearland and PEDC, their officers, agents, and employees from all claims, demands, and causes of action of every kind and character, including the cost of defense thereof, for any injury to or death of any person and any loss of or damage to any property that is caused by, alleged to be caused by, arising out of, or in connection with the Offeror's work to be performed hereunder. This release shall apply regardless of whether said claims, demands, and causes of action are covered in whole or in part by insurance and regardless of whether such injury, death, loss, or damage was caused in whole or in part by the negligence of the City, PEDC, any other party released hereunder, the Offeror, or any third party.
- 8.3 *Provision to be applied if indemnity is determined void:*
If the foregoing indemnity provision is found void for any reason, and only in that case, then the parties agree that if any claim or suit for damages of any nature arising out of or occasioned by Contractor's breach of any of the terms or provisions of this Contract or by any negligent act or omission of Contractor, its officers, agents, associates, employees or subcontractors, then Contractor will be obligated to pay for the legal defense of the City of Pearland and PEDC, their officers, agents and employees against such claim or suit (including the costs and expenses

associated with that defense). It is additionally expressly agreed that any payment due as a result of any successful claim or lawsuit shall be paid by the party or parties found liable in the proportion of liability found against that party after the matter has been finally litigated or, alternatively, in the proportion agreed upon by the parties if the matter is settled. This provision does not waive any immunity or defense available to either party under Texas law. The provisions of this Paragraph are solely for the benefit of the parties hereto and not intended to create or grant any rights, contractual or otherwise, to any other person or entity.

9 PATENTS / COPYRIGHTS

The awarded bidder agrees to protect PEDC from claims involving infringements of patents and/or copyrights.

10 PURCHASE ORDER

PEDC shall generate a Purchase Order to the successful bidder. The purchase order number must appear on all invoices, packing lists and all related correspondence. PEDC will not be responsible for any orders placed and/or delivered without a valid Purchase Order number.

11 PACKING SLIPS

Packing slips or other suitable shipping documents shall accompany each shipment and shall show:

- 11.1 Vendor company name and address; Name of the authorized PEDC employee placing the order;
- 11.2 PEDC purchase order number;
- 11.3 Descriptive information as to the items delivered, including quantity and part numbers.

12 INVOICES

- 12.1 Awarded bidder shall submit an original invoice each month.
- 12.2 Invoices must be itemized and include all charges for all areas in the project by area.
- 12.3 Any invoice, which cannot be verified by the contract price and/or is otherwise incorrect, will be returned to the awarded bidder for correction.
- 12.4 Invoices should be submitted via email to jbyerly@pearlandedc.com.
- 12.5 Payment basis shall be net thirty (30) days from receipt of invoice.
- 12.6 All invoices must reference the purchase order, order date, and employee name of requestor.

13 USAGE REPORTS:

Awarded bidder may be requested to provide a complete and accurate usage history report for all products/services furnished hereunder. At a minimum, report will include the following, based on trailing twelve months. This report should also include any information on substitute/replacement items and shall be noted as such.

- 13.1 Purchase Order Number
- 13.2 Invoice Number

13.3 Item Number/Description

13.4 Quantity/Hours

13.5 Purchase Price/Hourly Rate

13.6 Name of Ordered By

14 TAXES AND WAGES

Successful Offeror shall pay or cause to be paid, without cost or expense to PEDC, all Social Security, Unemployment and Federal Income Withholding Taxes of all employees and all such employees shall be paid wages and benefits required by Federal and/or State Law.

15 COMPANY OWNERSHIP/MANAGEMENT

Should there be a change in the awarded Offerors ownership or management, the contract may be canceled unless a mutual agreement is reached with the new owner or manager to continue the contract with its present provisions and prices. This contract is nontransferable by either party without the written consent of the other party.

16 INTERLOCAL PARTICIPATION

16.1 The PEDC may, from time to time, enter into Inter-local Cooperative Purchasing Agreements with other governmental entities (hereafter collectively referred to as "Entity" or "Entities") to enhance the PEDC's purchasing power. At the PEDC's sole discretion and option, PEDC may inform other Entities that they may acquire items listed in this bid. Such acquisition(s) shall be at the prices stated herein and shall be subject to bidder's acceptance.

16.2 In no event shall the City and/or PEDC be considered a dealer, re-marketer, agent or other representative of awarded bidder or Entity. Further, the City and/or PEDC shall not be considered and is not an agent; partner or representative of the Entity making purchases hereunder and shall not be obligated or liable for any such order.

16.3 Entity purchase orders shall be submitted to awarded bidder by the Entity.

16.4 Awarded bidder authorizes PEDC's use of bidder's name, trademarks and bidder provided materials in PEDC's presentations and promotions regarding the availability of use of this contract. The PEDC makes no representation or guarantee as to any minimum amount being purchased by PEDC or Entities, or whether Entity will purchase utilizing PEDC's contract.

16.5 PEDC will not be liable or responsible for any obligations, including but not limited to payment, and for any item ordered by an Entity other than PEDC.

17 PROPOSAL ACCEPTANCE

The PEDC reserves the right to accept or reject any and all bids, to accept any Proposal deemed advantageous, and to waive irregularity in the bids. By bidding, the bidder acknowledges and will adhere to all Proposal specifications as stated within this Proposal packet.

18 INSURANCE REQUIREMENTS

An original, certified copy of an insurance certificate must be submitted within ten (10) days of request along Instructions to Proposers

with an Additional Insured Endorsement on the most recent version of a Cg20 form. The awarded Offeror will be required to maintain, at all times during performance of the contract, the insurance detailed on the "Insurance Requirements" form, which is attached under the "Attachments" tab in the e-bidding system. **Failure to provide this document may result in disqualification of proposal.**

Insurance required of the awarded Offeror, or any other insurance of the Offeror shall be considered primary and list the PEDC as an additional insured with waiver of subrogation.

The Offeror, at the discretion of the PEDC, shall provide information regarding the amount of claims payments or reserves chargeable to the aggregate amount of the Offeror's liability coverage(s).

19 EQUAL OPPORTUNITY EMPLOYER

The awarded bidder shall warrant and agree that he/she is an Equal Opportunity Employer. Should complaints of any form of discrimination, either in dispensation of the service, or within company hiring policies be substantiated, this contract may be terminated immediately.

20 WORKERS COMPENSATION

The successful Offeror (as required by State of Texas Workers Compensations law) shall carry in full force workers compensation policy(ies) for all employees, including but not limited to full- time, part-time, and emergency employees employed by the successful Offeror. Current insurance certificates, certifying that such policies as specified above are in full force, shall be presented to the PEDC by the successful Offeror.

By entering into this contract or providing or causing to be provided a certificate of coverage, the successful Offeror is representing to the governmental entity that all employees of the Offeror who will provide services will be covered by workers' compensation coverage for the duration of the contract, that the coverage will be based on proper reporting of classification codes and payroll amounts, and that all coverage agreements will be filed with the appropriate insurance carrier or, in the case of a self - insured, with the commission's division of self-insurance regulation. Providing false or misleading information may subject the successful Offeror to administrative penalties, criminal penalties, or other civil actions.

The Offerors failure to comply with any of these provisions is a breach of contract by the Offeror which entitles the governmental entity to declare the contract void if the Offeror does not remedy the breach within ten days after receipt of notice of breach from the governmental entity.

21 CONDITIONS FOR TERMINATION

The PEDC, besides all other rights or remedies it may have, shall have the right to terminate this agreement immediately upon written notice from the PEDC Manager or his designee of its election to do so, if the awarded bidder fails to perform the service or breaches this agreement in any way, including the following:

- 21.1 Fails to pay insurance, liens, claims, or other charges.
- 21.2 Fails to pay any payments due the PEDC, State or Federal Government from the awarded bidder or its principals, including, but not limited to payments identified in this agreement or any taxes, fees, assessments, or liens.
- 21.3 Becomes insolvent and/or files for protection under bankruptcy laws.
- 21.4 Violates any provision of these specifications or of the resultant agreement.
- 21.5 Fails to respond and/or deliver within the prescribed time, including weekends and holidays.

- 21.6 Fails to make adequate arrangements for an emergency call.
- 21.7 Provides substandard product or mechanical services work or work the PEDC deems to be otherwise unacceptable.
- 21.8 The PEDC may terminate the contract at any time by giving written notice to the awarded Offeror of such termination and specifying the effective date thereof, at least fifteen (15) calendar days before the effective date of such termination.
- In that event, all finished or unfinished services, reports, materials prepared or furnished by the awarded Offeror under the contract shall, at the PEDC's option, become its property.
 - if the award is terminated by the PEDC as provided herein, the awarded Offeror will be paid an amount as of the time the notice is given by the PEDC which bears the same ratio to the total compensation as the services actually performed or material furnished bear to the total services/materials the awarded Offeror covered by the award, less payments of compensation previously made.
 - Additionally, the PEDC reserves the right to terminate the contract without cause upon written notice 30 days prior to the date of termination. Such termination is in addition to and not in lieu of any other remedies that PEDC may have in law or equity. Offeror, in submitting this Proposal, agrees that PEDC shall not be liable to prosecution for damages in the event that the PEDC declares the Offeror in default.

22 ASSIGNMENT

The awarded bidder may not assign, sell or otherwise transfer this contract without prior written consent of the PEDC.

23 EXAMINATION

Offerors should carefully examine the sites to determine the actual conditions under which all work will be performed.

Adjusting payments will not be authorized for work that could have been foreseen by a careful examination of the existing grounds.

Submission of a Proposal constitutes acceptance by the Offeror of the existing site conditions as a part of the requirements of this work.

24 NEW MERCHANDISE

All product furnished as a result of this Proposal must be new or recycled if applicable. The PEDC will neither purchase nor accept bids or shipments of goods classified as seconds, irregulars or any other designation other than new.

25 ADDITIONAL ITEMS/UPGRADES

The PEDC may require additional items of similar nature not specifically listed in the contract or wish to purchase an item upgraded from that proposed by the bidder. In such event, the bidder shall provide the PEDC with a price for the new or upgraded item based upon a procedure or formula, which is the same or very similar to that used in establishing the prices as contained in the awarded bidders list. If the price offered is not acceptable to the PEDC, and the matter cannot be resolved to the satisfaction of the PEDC, the PEDC reserves the right to procure the new or upgraded items from other bidders or to cancel the contract upon giving thirty (30) days written notice to the

bidder.

26 ORDERING

During the contract term, orders will be placed on an as needed, as required basis. Awarded bidder agrees to full said service requested/ordered by the PEDC, with no minimum requirements. Please note that it is the intent of the PEDC to consolidate needs whenever possible/feasible.

27 ESTIMATED PURCHASES

Quantities indicated in the "Quantities" section of the Proposal Line Items are estimated based on past usage. No warranty is given as to the actual dollar amount that will be purchased during the term of any resulting contract.

28 ALTERNATE VENDOR(S)

PEDC reserves the right to use other vendors when the response time is not met, the quality of work is unacceptable, the number of hours estimated/being charged is considered excessive, or the number of technician and/or laborer/helper required or sent to perform the contracted work is determined to be either insufficient or excessive.

29 INDEPENDENT CONTRACTOR

The parties contend that Contractor, in performing the services specified herein, shall act as an independent contractor and shall have control of its work and the manner in which it is performed. It shall be free to contract for similar services to be performed for other employers while it is under contract with the PEDC. Contractor is not to be considered an agent or employee of the City or PEDC and is not entitled to participate in any pension, medical or dental plan, or any other benefit provided by the PEDC to its employees.

30 COMMUNICATION

Prospective vendors shall communicate only with the Purchasing Division and PEDC staff identified herein during the entire Proposal process (from this solicitation to award). The PEDC shall not be responsible for any verbal or non-verbal communication between a potential bidder and any other employees of the PEDC; and such action may be cause for rejection of the subject bidder's submittal. Only written requirements and qualifications, and addenda as issued by the City Purchasing Division will be considered.

31 LAW GOVERNING AND VENUE

The law of the State of Texas shall govern this contract and no lawsuit shall be prosecuted on the Contract except in a court of competent jurisdiction located in Brazoria County, Texas.

32 FORCE MAJEURE

32.1 If by reason of Force Majeure either party shall be rendered unable, wholly or in part, to carry out its responsibilities under this contract by any occurrence by reason of Force Majeure, then the party unable to carry out its responsibility shall give the other party notice and full particulars of such Force Majeure in writing within a reasonable time after the occurrence of the event, and such notice shall suspend the party's responsibility for the continuance of the Forced Majeure claimed, but for no longer period.

32.2 Force Majeure means acts of God, floods, hurricanes, tropical storms, tornadoes, earthquakes, or other natural disasters, acts of public enemy, acts of terrorism, sovereign conduct, riots, civil commotion, strikes or lockouts, and other causes that are not occasioned by either Party's conduct which by the exercise of due diligence the party is unable to overcome and which

substantially interferes with operations.

33 PUBLIC RECORD

Responses to Proposal requests and requests for proposals are public record. By signing and submitting a response, Responder hereby acknowledges the following:

- 33.1 That the Response and subsequent documents submitted to the PEDC are subject to the Texas Public Information Act (PIA);
- 33.2 That it is the Responder's obligation to specifically identify information it contends to be confidential or proprietary and accepts that the PEDC may in its sole discretion deem a Response as non-compliant; and
- 33.3 That Responder grants a royalty-free, non-revocable, world-wide, perpetual license to reproduce, any copyrighted portions of the Response and subsequent documents to comply with LBB reporting requirements, PIA disclosures, or any other reporting requirements mandated by law or statute.

34 CERTIFICATE OF INTERESTED PARTIES

All contracts and contract amendments, extensions or renewals executed by PEDC will require the completion of Form 1295 "Certificate of Interested Parties" pursuant to Texas Local Government Code Chapter 2252.908. **Only the successful Offeror of this RFP will submit a Certificate of Interested Parties form.** Form must be completed by Offeror at time of signed contract submittal.

All responding Offerors may access a video from the Texas Ethics Commission which explains the process on how to submit Form 1295. The video link is available on the City Purchasing Department website at <http://pearlandtx.gov/purchasing>.

35 EXCEPTION TO PROPOSAL

The Offerors will list on a separate sheet of paper any exceptions to the conditions of the proposal. This sheet will be labeled, "Exceptions to proposal conditions", and will be attached to the proposal. If no exceptions are stated, it will be understood that all general and specific conditions will be complied with, without exception.

36 LODGING

The awarded bidder and firms mobilizing personnel to perform the services described herein are strongly encouraged to utilize lodging within the City. For information on booking a hotel in Pearland, please refer to: <http://visitpearland.com/where-to-stay-in-pearland/>. For further assistance, you may contact the Pearland Convention and Visitors Bureau at 713.436.5595.

37 ADDITIONAL INFORMATION

If any information is needed concerning specifications, please contact: Brandon Whittaker, Landscape Architect, Clark Condon, bwhittaker@clarkcondon.com or 713-871-1414.

If any information is needed concerning all other subjects, please contact: Jessica Byerly, Development Manager, PEDC, jbyerly@pearlandedc.com or 281-997-3006.

SECTION II – TECHNICAL SPECIFICATIONS

This document describes the requirements for a contract to provide Landscape Maintenance for Entryways and Corridors throughout Pearland. All materials will be of the highest quality and in accordance with Federal and State of Texas regulations and requirements.

SILENCE OF SPECIFICATIONS: The apparent silence of these specifications as to any detail or to the apparent omission from it of a detailed description concerning any point, shall be regarded as meaning that only the best commercial practices are to prevail. All interpretations of these specifications shall be made on the basis of this statement.

1.0 **GENERAL**

- 1.1 Refer to Exhibit A for Maintenance Schedule. Refer to Exhibit B for Unit Cost & Supplemental Price Worksheets, Refer to Exhibit C for an overall map of the service area and area diagrams. Refer to Exhibit D for Execution Diagrams. Refer to Exhibit E for Plant Details. Refer to Exhibit F for Reporting Requirements. Pearland's Interactive Mowing Map can be found at the following website address:
<https://pearland.maps.arcgis.com/apps/webappviewer/index.html?id=f8577385ae994637a8ccf5f433b1520c> . To view areas PEDC maintains with GIS. Light Blue Areas are PEDC areas, with the exception of Yost which has been recently added and is not yet entered into the GIS system.
- 1.2 Awarded Vendor shall maintain a staffed office for the processing of work orders and specific job-related information during normal working hours, 7:30 a.m. to 5:00 p.m., five (5) days a week. An afterhours/emergency number shall be provided by the Awarded Vendor to answer all calls placed after normal working hours seven (7) days per week.
- 1.3 The Awarded Vendor is expected to perform all work in a competent and professional manner. Any damage to PEDC property, either direct or indirect, resulting from the Vendor, or their employees must be repaired fully and completely at the cost to the Vendor, including work, materials, and any litigation fees that may be incurred to recover the cost of such damages not repaired or not repaired in a workmanlike manner.
- 1.4 PEDC reserves the right to use other Vendors when it is deemed to be in its best interest to do so, as in the following examples:
 - 1.4.1 Service and/or material quality is not acceptable (does not meet specifications);
 - 1.4.2 Service and/or material is not available on the day it is needed, or within specified delivery requirements;
 - 1.4.3 Awarded bidder fails to respond to service request, i.e. does not return phone calls or emails within 24 hours.
- 1.5 PEDC reserves the right to request a different worker if it deems the worker's quality of work to be poor, issues with attendance and or behavior (discourteous, belligerent, unsafe, etc.) arise. PEDC's request will be submitted in writing stating reasons.
- 1.6 Vendors must ensure that their employees assigned to work at the PEDC facilities have legal right to work in the United States, and vendor must comply with requirements of e-verify program, as administered by U.S. Citizenship and Immigration Services.

- 1.7** Safety Data Sheets (SDS): Awarded Vendor must furnish safety data sheets (SDS) on each chemical that is bid.
- 1.8** Services Completed and Payment
- 1.8.1** Failure to Provide Services: The PEDC's contract representative regularly monitors and obtains photographic evidence of service areas and may deduct from the invoices the value of services not provided. **Persistent billing for services not provided or failure to adequately provide services may be cause for termination of the contract.**
- 1.8.2** Payment: The Vendor will invoice for actual work and services completed. Frequent inspections will be conducted by PEDC staff with the contractor for verification.
- 1.9** Emergency Phone Numbers: Provide PEDC staff with current emergency and non-emergency phone number contacts. PEDC will provide the Awarded Vendor with a listing of emergency phone number contacts upon award of the contract.
- 1.10** Furnish all labor, materials and equipment as necessary to provide a landscape maintenance program in strict accordance with these specifications.
- 1.11** The work is described in detail in subsequent sections but is summarized to include all materials, supervision, labor, equipment, transportation and all services required and incidental to the following:
- 1.11.1** Turf and native grass maintenance including mowing, edging and trimming for:
- 1.11.1.1** Class A mow areas: Entryways, medians and shoulder areas as designated on the Diagrams and Interactive Mowing Map.
- 1.11.1.2** Class B mow areas: Medians and shoulder areas as designated on the Diagrams.
- 1.11.2** Weeding, cultivating, cleaning and mulching of planting beds and tree wells.
- 1.11.3** Pruning and trimming of trees, shrubs, groundcover, and vines.
- 1.11.4** Application of fertilizers and soil amendments.
- 1.11.5** Spray and injection application of liquid soil amendments.
- 1.11.6** Organic and synthetic chemical application of fungicides, herbicides and insecticides, ornamental trees, shrubs, groundcover as well as herbicides to be applied on sidewalks and paved areas.
- 1.11.7** Debris (including, but not limited to dirt and loose rocks on hardscape) and trash removal.
- 1.11.8** Irrigation system maintenance and management.
- 1.11.9** Reporting of services performed.
- 1.12** Extra Services: All services not covered under this contract shall be considered "Extra Services" and will be charged separately according to the nature of the item of work. Minor repairs that can be quickly repaired upon discovery within the workday, including, but not limited to controller battery replacement, small drip leaks, unclogging clogged nozzles, and filling and smoothing small ruts less than or equal to 2 inches deep or 25 square feet in size shall be considered incidental to the contract under the irrigation allowance approved by Owner. Written authorization must be obtained prior to the performance of any Extra Services. Extra Services shall include, but are not limited to:
- 1.12.1** Repair of irrigation system when damaged by others.
- 1.12.2** Plant removals and replacements.
- 1.12.3** Repair of damage to site caused by others.
- 1.12.4** All proposals for repairs shall be itemized and include photos, location map and justification for the repairs needed.

2.0 CONTRACTOR MINIMUM QUALIFICATIONS: Include the items below in a file called “Response Attachments”. Provide as complete and as detailed information as possible. **Failure to submit information in any area may be grounds for disqualification. Failure to meet minimum criteria listed in each area may be grounds for disqualification.**

Submit information in an organized fashion, in order of list below, with all qualification responses grouped together and identified. Include name of contractor and project name with the responses. Qualifications should be included with other Attachments.

- 2.1 Vendor shall be a firm specializing in landscape maintenance and planting work and shall have not less than 10 years of experience in the landscape work. Submit gross amount of income for past 10 years and total percentages of landscape maintenance and planting installation work.
- 2.2 Vendor shall be licensed by the Texas Nursery & Landscape Association, shall possess an agricultural certificate, and shall have a licensed irrigation and a pest applicator on staff. Submit copies of these four (4) licenses. See Section 3.0 for qualifications of vendor staff.
- 2.3 References – Trade: List five (5) suppliers/trade references including at least three (3) nursery sources and two (2) other suppliers. Include a name, address, contact phone number and email address.
- 2.4 References – Financial: List three (3) financial references. Include a name, address, contact phone number and email address.
- 2.5 References – Other: List three (3) local landscape architects that contractor has worked with. Included name, address, contact phone number and email address.
- 2.6 Past Work – List five (5) projects of municipality, public, developer, neighborhood or similar projects that contractor has completed within the last five years. Include a name and project address. List the scope of work, the total amount of the Offeror’s contract for each project and the date the project was completed. State whether Offeror was prime or subcontractor. Include a contact for the project (client representative or client project manager). Include name, contact phone number and email address. If Offeror was subcontractor, also include contact information for prime contractor.
- 2.7 List all Subcontractors proposed for this project and approximate percentage of contract that subcontract would be responsible for. Submit same qualifications for any Subcontractors performing 25% or more of the work to be bid/contracted.
- 2.8 List major Suppliers proposed for the project and a letter of consent from each supplier. At a minimum, this list and letters shall include the suppliers for: Plant materials, Irrigation equipment, Soils (soil mix and mulches) and Soil Amendments (fertilizers, chemicals).
- 2.9 All supervisory personnel shall have minimum ten (10) years of experience in the landscape field and minimum two (2) years of experience with the Awarded Vendor. Submit name of the project manager and other supervisory personnel; name of foreman or supervisory personnel that will be on-site daily, name of licensed irrigator or irrigation technician who will be on-site daily. Submit experience of each proposed supervisory person.
- 2.10 Provide recommended schedule for the services to be performed under this contract for completion within each year of the contract.
- 2.11 Submit a sample Service Performed Report that includes all of the elements listed in Exhibit F.

3 PRICING

- 3.1 PEDC will not pay any additional charges unless specified in Proposal or previously approved in writing by the PEDC’s representative for add on items.

- 3.2 Prices shall be all inclusive of parts, labor, equipment, site walks, meetings and any other cost associated performing the service per the specifications in this Proposal packet: No price changes, additions, or subsequent qualifications will be honored during the course of the contract.
- 3.3 If unit pricing and extended pricing differ, unit pricing prevails.

4 PROPOSAL REQUIREMENTS

Offerors shall present their Proposals using the following guidelines.

- 4.1 Provide a cover letter indicating the following:
- The underlying philosophy of the firm in providing the service;
 - Responses to the "Contractor Minimum Qualifications" from page 15 of this document;
 - Provide name of the chemical applicator and State of Texas license number;
 - Confirm that all employees meet the requested requirements
- 4.2 Provide a clear schedule and sequence of work to be performed, i.e. Schedule of Activities. This should be more descriptive than merely the number of services per month outlined in Exhibit A.
- 4.3 Include a list and explanation of Material Substitutions (if applicable).
- 4.4 Required documents to be completed:
- 4.4.1 Insurance Requirements
 - 4.4.2 Local Bidder Preference Claim Form
 - 4.4.3 Conflict of Interest Questionnaire (note N/A if not applicable)
 - 4.4.4 Contractor Questionnaire
 - 4.4.5 Non-collusion statement;
 - 4.4.6 House Bill 89 form;
 - 4.4.7 References;
 - 4.4.8 Exhibit F within the project specifications includes a project reporting check list. If your firm has a standardized report, please ensure it includes all elements listed in Exhibit F and include information about your standard reporting process (software used, included elements, etc.) to your submitted proposal. Provide a sample report, if available.
 - 4.4.9 Provide pricing per the Line Items listed on the Exhibit B Unit Cost Work Sheets and Exhibit C Supplemental Unit Costs.

5 EVALUATION CRITERIA AND RESPONSE FORMAT

- 5.1 An evaluation committee will score proposals based on experience, owned equipment, pricing, proposal content, project schedule and references. The Owner reserves the right to select a proposal(s) other than the lowest cost. The Offeror may be required before the award of any contract to show to the complete satisfaction of the Owner that it has the necessary resources to provide the service specified therein in a satisfactory manner. The successful Offeror will also be required to give a past history and references in order to satisfy the Owner with regard to the Offerors qualifications.
- 5.2 The Owner may make reasonable investigations deemed necessary and proper to determine the ability of the Offeror to perform the work. The Offeror shall furnish to the Owner all information for this purpose that may be requested. The Owner reserves the right to reject a proposal if the evidence submitted by, or investigation of, the Offeror fails to satisfy the Owner that the Offeror is properly qualified to carry out the objectives of the contract and to complete the work described

therein.

- 5.3 Proposals that do not conform to the instructions given or which do not address all the services as specified may be eliminated from consideration. The Owner, however, reserves the right to accept such proposal if it is determined to be in the Owner's best interest to do so.
- 5.4 The Owner may initiate discussions with Contractors. Discussions may not be initiated by Contractors. The City expects to conduct discussions with Contractor personnel authorized to contractually obligate them with an offer. Contractors shall not contact any Owner's personnel during the proposal process except as provided for within. The Owner may disqualify any vendor who has contacted Owner personnel or distributed any literature without authorization.
- 5.5 All correspondence relating to this proposal, from advertisement to award, shall be sent to the PEDC. All presentations and/or meetings between the Owner and the Offeror relating to this proposal shall be coordinated by the PEDC.
- 5.6 No award can be made until the PEDC Board of Directors approves such action.
- 5.7 EVALUATION FACTORS - Compliance with proposal requirements, qualifications, best value, delivery, pricing, and the needs of the end user department are all factors which will be considered when evaluating proposals. After receipt of proposals, Owner will use the following criteria in the selection process:
- | | |
|-------------|--|
| 40 % | Rates and Expenses; |
| 30% | Qualifications/experience/methodology; including samples of documentation provided and maintained to assure compliance with Federal and state requirements, and methodology for completing requested work; |
| 20% | References; and |
| 10% | Proposal – thoroughness in addressing Proposal Requirements and Response Format requirements, as stated herein, which should include: pricing experience, completion timeline, and methodology. |

6 TYPE OF CONTRACT

The Owner contemplates award of a firm-fixed price contract resulting from this solicitation. It is a non-exclusive contract; the Owner may award additional contracts to additional Contractors at its discretion.

7 REQUIRED INFORMATION / DOCUMENTS

All information and completed forms submitted by a Vendor in response to this solicitation shall become an integral part of the resultant contract.

8 APPROVAL OF RESULTANT CONTRACT

The contract, which may result from this solicitation, is subject to approval by PEDC's Board of Directors and, upon reaching a certain threshold, City Council and may be neither executed nor binding, until so approved.

9 COSTS INCURRED BY BIDDER

The Owner will not be responsible, under any circumstances, for any submittal preparation costs or other costs incurred by any Offeror before the execution of a contract between the Owner and the successful Offeror.

CONFLICT OF INTEREST QUESTIONNAIRE

FORM CIQ

For vendor or other person doing business with local governmental entity

OFFICE USE ONLY

Date Received

This questionnaire is being filed in accordance with chapter 176 of the Local Government Code by a person doing business with the governmental entity.

By law this questionnaire must be filed with the records administrator of the local government not later than the 7th business day after the date the person becomes aware of facts that require the statement to be filed. See Section 176.006, Local Government Code.

A person commits an offense if the person violates Section 176.006, Local Government Code. An offense under this section is a Class C misdemeanor.

1 Name of person doing business with local governmental entity.

2

☐

Check this box if you are filing an update to a previously filed questionnaire.

(The law requires that you file an updated completed questionnaire with the appropriate filing authority not later than September 1 of the year for which an activity described in Section 176.006(a), Local Government Code, is pending and not later than the 7th business day after the date the originally filed questionnaire becomes incomplete or inaccurate.)

3

Describe each affiliation or business relationship with an employee or contractor of the local governmental entity who makes recommendations to a local government officer of the local governmental entity with respect to expenditure of money.

4

Describe each affiliation or business relationship with a person who is a local government officer and who appoints or employs a local government officer of the local governmental entity that is the subject of this questionnaire.

CONFLICT OF INTEREST QUESTIONNAIRE

FORM CIQ

Page 2

For vendor or other person doing business with local governmental entity

5 Name of local government officer with whom filer has affiliation or business relationship. (Complete this section only if the answer to A, B, or C is YES.)

This section, item 5 including subparts A, B, C & D, must be completed for each officer with whom the filer has affiliation or business relationship. Attach additional pages to this Form CIQ as necessary.

A. Is the local government officer named in this section receiving or likely to receive taxable income from the filer of the questionnaire?

☐ Yes

☐ No

B. Is the filer of the questionnaire receiving or likely to receive taxable income from or at the direction of the local government officer named in this section AND the taxable income is not from the local governmental entity?

☐ Yes

☐ No

C. Is the filer of this questionnaire affiliated with a corporation or other business entity that the local government officer serves as an officer or director, or holds an ownership of 10 percent or more?

☐ Yes

☐ No

D. Describe each affiliation or business relationship.

6 Describe any other affiliation or business relationship that might cause a conflict of interest

7

Signature of person doing business with the governmental entity

Date

CONFLICT OF INTEREST QUESTIONNAIRE

As of January 1, 2006, the Texas Local Government Code Chapter 176 requires all vendors and potential vendors who contract or seek to contract for the sale or purchase of property, goods, or services with any local government to complete and submit a Conflict of Interest Questionnaire. In filling out the questionnaire, the following are current City Council members and City employees who may either recommend or approve bid awards.

City Council:	Mayor	Tom Reid
	Councilmember	Tony Carbone
	Councilmember	Derrick Reed
	Councilmember	Gary Moore
	Councilmember	Keith Ordeneaux
	Councilmember	Greg Hill
	Councilmember	Trent Perez
City Staff:		
	City Manager	Clay Pearson
	Director of Finance	Cynthia Pearson
	Assist. Director of Finance	Rick Overgaard
	Purchasing Officer	Bob Pearce



Contractor Questionnaire

Yes No

- | | | |
|-----|-----|--|
| ___ | ___ | 1. Has the City of Pearland or other governmental entity incurred costs as a result of contested change order(s) from the undersigned company? |
| ___ | ___ | 2. Has the City of Pearland or other governmental entity been involved in litigation relative to contract performance with the undersigned company? |
| ___ | ___ | 3. Has the undersigned company failed to meet bid specifications or time limits on other contracts? |
| ___ | ___ | 4. Has the undersigned company abandoned a contract or refused to perform without legal cause after submitting a bid? |
| ___ | ___ | 5. Has the undersigned company had bidding errors or omissions in two or more bid submissions within a thirty six (36) month period? |
| ___ | ___ | 6. Has the undersigned company failed to perform or performed unsatisfactory on two or more contracts within a thirty six (36) month period? |
| ___ | ___ | 7. Does the undersigned company have adequate equipment, personnel and expertise to complete the proposed contract? |
| ___ | ___ | 8. Does the undersigned company have a record of safety violations in two or more contracts within a thirty six (36) month period? |
| ___ | ___ | 9. Does the undersigned have a criminal offense as an incident to obtaining or attempting to obtain a public or private contractor subcontract, or in the performance of such a contract or subcontract within a ten (10) year period? |
| ___ | ___ | 10. Has the undersigned company been convicted of a criminal offense within a ten (10) year period of embezzlement, theft, bribery, falsification or destruction of records, receiving stolen property or any other offense indicating a lack of business integrity or business honesty which might affect responsibility as a municipal contractor? |
| ___ | ___ | 11. Has the undersigned company been convicted of state or federal antitrust statutes within a ten (10) year period arising out of submission of bids or proposals? |
| ___ | ___ | 12. Has the undersigned company been disbarred or had a similar proceeding by another governmental entity? |

If you answered "yes" to Items 1-6 or 8-12 or answered "no" to Item 7, please attach a full explanation to this questionnaire.

Company Name: _____

Address: _____

Name: _____ Title: _____
(Please Print) (Please Print)

Signature: _____ Date: _____



City of Pearland

3519 Liberty Drive
Pearland, TX 77581

Purchasing Department

281.652.1621 or

281.652.1790

Fax 281.652.1738

Contractor Insurance Requirements & Agreement

Requirements

Contractors performing work on City property or public right-of-way for the City of Pearland shall provide the City a certificate of insurance or a copy of their insurance policy(s) evidencing the coverages and coverage provisions identified herein. Contractors shall provide the City evidence that all subcontractors performing work on the project have the same types and amounts of coverages as required herein or that the subcontractors are included under the contractor's policy.

All insurance companies and coverages must be authorized by the Texas Department of Insurance to transact business in the State of Texas and must be acceptable to the City of Pearland.

Listed below are the types and amounts of insurances required. The City reserves the right to amend or require additional types and amounts of coverages or provisions depending on the nature of the work.

	TYPE OF INSURANCE	AMOUNT OF INSURANCE	PROVISIONS
1.	Workers' Compensation Employers' Liability	Statutory Limits \$100,000 per occurrence	City to be provided a waiver of subrogation and 30 day notice of cancellation or material change in coverage.
2.	Commercial General (Public) Liability to include coverage for: a) Premises/Operations b) Products/Completed Operations c) Independent Contractors d) Personal Injury e) Contractual Liability	Personal Injury - \$1,000,000 per person; Property Damage - \$1,000,000 per occurrence ; General Aggregate - \$1,000,000	City to be listed as Additional Insured on Contractor's policy and provided 30 day notice of cancellation or material change in coverage.
3.	Business Auto Liability to include coverage for: a) Owned/Leased vehicles b) Non-owned vehicles c) Hired vehicles	Combined Single Limit - \$1,000,000	City shall be provided 30 day notice of cancellation or material change in coverage.
4.	Professional Liability	Aggregate - \$1,000,000	City shall be provided 30 day notice of cancellation or material change in coverage.

Certificate of Insurance forms may be **emailed** to: Purchasing Department at ebids@pearlandtx.gov. Questions regarding required insurance should be directed to Bob Pearce, City of Pearland Purchasing Officer, at bpearce@pearlandtx.gov.

This form must be signed and returned with your quotation. You are stating that you do have the required insurance and if selected to perform work for the City, will provide a certificate of insurance, and a copy of insurance policy with the above requirements to the City. **A purchase order will not be issued without evidence of required insurance.**

Agreement

I agree to provide the above described insurance coverages within 10 working days if selected to perform work for the City of Pearland. I also agree to provide the City evidence of insurance coverage on any and all subcontractors performing work on the project.

Project/Bid # _____

Company: _____

Printed Name: _____



CITY OF PEARLAND

LOCAL BIDDER PREFERENCE CLAIM FORM

Sections 271.905 and 271.9051 of the Texas Local Government Code authorize a municipality to consider a vendor's location in the determination of a bid award if the lowest bid received is from a business outside the municipality and contracting with a local bidder would provide the best combination of price and other economic benefits to the municipality. The City of Pearland has determined that the allowable preference shall be applied to local vendor's bids for the purposes of evaluation when requested in writing by local bidder and when determined to be in the best interest of the City to do so. **This request form and any supporting documentation must be submitted with bid in order to be considered by the City of Pearland.** Questions should be addressed to the Purchasing Department at 281-652-1668. Exclusions to the local preference include expenditures of \$3,000 or less, and those purchases which are: sole-source, emergency, federally-funded, cooperative contracts, or via interlocal agreement. The local preference status will expire one year from the date of this form; for any subsequent requests for preference during this period, the applicant need only complete and submit section 3 of this form.

The City Council requires the following information for consideration of a local bidder preference (information may be submitted in an attachment to this form):

1. Locational Eligibility: Principal place of business in Pearland, Texas? Principal place of business is defined herein as any business which owns or leases a commercial building within the City limits and uses the building for actual business operations.

- a. If yes, identify name of business/DBA, address, and business structure: sole proprietorship, partnership, corporation, or other.
- b. Name and city of residence of owner(s)/partners/corporate officers; as applicable.

2. General Business Information:

- a. Year business established (Pearland location).
- b. Most recent year property valuation (if owned); real and personal property.
- c. Annual taxable sales (originating in Pearland).
- d. Is business current on all property and sales taxes at the time of this application?
- e. Total number of current employees and number of Pearland-resident employees.

3. Economic Development benefits resulting from award of this contract:

- a. Number of additional jobs created or retained for Pearland resident-employees?
- b. Amount of additional City of Pearland ad valorem and/or sales taxes anticipated? Please explain how the amount has been determined.
- c. Local subcontractors utilized, if applicable: name, location and contract value for each.
- d. Other economic development benefit deemed pertinent by applicant.

Certification of information:

The undersigned does hereby affirm that the information supplied is true and correct as of the date hereof, under penalty of perjury.

City Bid No./Quote for which the local preference is requested: _____

(Name of Bidder)

(Date)

(Signature)

(Print)

THE STATE OF TEXAS §

§

COUNTY OF _____§

Appeared before me the above-named _____, known to me to be the same, and swore that the information provided in response to the foregoing questions are true and correct to the best of his/her knowledge and belief, this _____ day of _____, 20__.

NOTARY PUBLIC, STATE OF TEXAS

Printed Name: _____

Commission Expires: _____



NON-COLLUSION STATEMENT

"The undersigned affirms that they are duly authorized to execute this contract, that this company, corporation, firm, partnership or individual has not prepared this bid in collusion with any other bidder, and that the contents of this bid as to prices, terms or conditions of said bid have not been communicated by the undersigned nor by any employee or agent to any other person engaged in this type of business prior to the official opening of this bid."

Vendor _____

Address _____

Phone Number _____

Fax Number _____

Email Address _____

Bidder (Signature) _____

Position with Company _____

Signature of Company

Official Authorizing This Bid _____

Company Official (Printed Name) _____

Official Position _____

Entryway and Enhanced Landscape Maintenance Specifications

Pearland Economic Development Corporation (PEDC)

Clark Condon

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05/25/2021

Section III - LANDSCAPE MAINTENANCE SPECIFICATION

INTRODUCTORY DEFINITIONS

1. *Broadleaf Weed Control*: The control of unsightly broadleaf weeds including dandelions, chickweed, henbit, clover, and much more. These types of weeds can increase lawn care, mowing requirements, and delay the recovery of growing grass. Regular mowing along with proper fertilization, and chemical control, can eliminate these types of weeds.
2. *Debris*: The accumulation of something broken down and destroyed, such as loose natural material consisting especially of broken pieces of rock, dirt, sand, silt, gravel or grass clippings.
3. *Edging*: A line of demarcation that creates visual interest by separating one segment from another segment. This can be aesthetic or functional, keeping one element (such as aggregate) from getting mixed into another (like mulch). Variations include shovel-cut bed edge treatments and "V" Cut bed edges, which are defined as the buffer separating mulch areas from turf areas and maintained to ensure a neat and uniform appearance between the two.
4. *Flatwork*: includes all concrete and brickwork located along a horizontal plane such as sidewalks, crosswalks, paver bands, and any other flat paved surface.
5. *Grassy Weeds*: Weeds disguised as normal grasses that require proper weed prevention. These plants, such as nutsedge, goose grass, crab grass and many more, crowd desired growing grass, and requires proper turf weed control.
6. *Litter/Trash*: discarded matter or refuse consisting especially of paper, glass, rubber and plastic.
7. *Mass Planting Beds*: Using many plantings of the same variety to fill in an area in the landscape. This can lower maintenance and water use. Examples include Lantana, Asian Jasmine, other groundcovers, Irises, Knock-out Roses, other shrubs and more.
8. *Materials Form*: Compiled list of all materials needed to maintain landscape design to be reported monthly.
9. *Mulch Cultivation*: The expectation is that mulch will be turned and aerated through flipping the old mulch to the top with a rake-like tool. The recommended time of year to do mulch cultivation is early-spring and late-fall.
10. *Perennial*: Plants and flowers that have a life cycle of three or more years and are present during all seasons of the year. Types of perennials include woody plants, such as trees and shrubs, as well as, small flowering plants. Perennials flourish in warm spring and summer seasons and die back in the autumn and winter due to their hardy root stock as opposed to seeding. If proper care is used, perennial plants can live indefinitely in moderate climates; they require diligent lawn and shrub care.
11. *Post-emergent Herbicide*: Chemicals used to kill weeds after they have germinated. These specialized herbicides must be used as the plant is actively growing and not simply green. Post-emergent weed control kills existing plants and must be applied with discretion as too heavy or widespread an application can kill nearby desirable plants.
12. *Pre-emergent Herbicide*: A form of weed control that kills plants as they germinate, prior to the plant's emergence into the environment. Pre-emergent herbicides are applied during initial care to prevent weeds and unwanted plants from growing. Application depends on the weed's growth period. It is generally recommended to apply pre-emergent herbicides for summer weeds in the spring, and during fall for winter weeds.
13. *Prune*: To cut off or cut back plant or tree parts for better size, shape, appearance and more healthy and fruitful growth.
14. *Scalping*: When more than a third of a leaf shoot of a blade of grass is removed during mowing or grass becomes lower than adjacent turf due to excessive or careless trimming. This can occur if a lawn is not being mowed frequently enough. Scalping will result in weaker grass, more susceptibility to weeds, and the development of brown patches. Prevent scalping with proper mowing techniques and frequent mowing.
15. *Seasonal Color*: Plants that provide interest and generally stand out in the landscape due to their color, texture,

and/or blooms.

16. *Shrubs*: Low woody plants, usually with multiple shoots or stems emanating from their bases such as rose bushes and Indian Hawthorn.
17. *Trees*: Woody perennial plant having a single usually elongate main stem generally with few or no branches on its lower part.
18. *Weeds*: Any plants that are unwanted or considered to be a nuisance.

PART 1 - GENERAL

- A. Furnish all labor, materials and equipment as necessary to provide a landscape maintenance program in strict accordance with these specifications.
- B. The work is described in detail in various sections but is summarized to include all materials, supervision, labor, equipment, transportation and all services required and incidental to the following:
 1. Turf and native grass maintenance including mowing, edging, reseeding, over-seeding and trimming for:
 - a. Class A Mow areas
 - b. Class B Mow areas
 2. Weeding, cultivating, cleaning and mulching of planting beds and tree wells.
 3. Pruning and trimming of trees, shrubs, groundcover and vines.
 4. Application of fertilizers and soil amendments.
 5. Spray and injection application of liquid soil or root amendments.
 6. Organic and synthetic chemical application of fungicides, herbicides and insecticides, ornamental trees, shrubs and groundcover as well as herbicides to be applied on sidewalks and paved areas.
 7. Trash and Debris removal.
 8. Irrigation system maintenance, including monthly irrigation system inventory and status reporting, and an annual irrigation system inspection with Owner/Owner Representative.
 9. Decompose granite monitoring and maintenance.
 10. Prior notification and Post-Reporting of services performed, is required. Document all observation of plant and irrigation damage, observed or caused including materials used every month.
- C. Extra services – All services not covered under this contract shall be considered “Extra Services” and will be charged separately according to the nature of the item of work. Written authorization must be obtained prior to the performance of any Extra Services. Minor repairs that can be quickly repaired upon discovery within the workday, including, but not limited to controller battery replacement, small drip leaks, unclogging clogged nozzles, and filling and smoothing small ruts less than or equal to 2 inches deep or 25 sf in size shall be considered incidental to the contract under the irrigation allowance approved by Owner. Extra Services shall include, but are not limited to:
 1. Repair of irrigation system when damaged by others.
 2. Plant removals and replacements.
 3. Repair of damage to site caused by others.
 4. All proposals for repairs shall be itemized and include photos, location map and justification for the repairs needed.
- D. Performance
 1. Perform work in accordance with all applicable laws, codes and regulations required by authorities having jurisdiction over such work and provide for all permits required by local authorities. This includes all

- safety measures and procedures, including, but not limited to, on-street vehicular safety systems such as flagman, cones, strobe lights, etc.
2. Contractor shall perform all work required as necessary to fulfill the intent of the Contract. All work shall be performed in a professional manner, noise to be kept to a minimum and work staged from a location on the site as to not interfere with the users.
 3. Workmen shall be uniformed, neat in appearance, fully clothed and perform their work in a professional manner. Personnel shall be trained and competent. Workmen shall not at any time consume or be under the influence of alcoholic beverages or drugs while on the Project. Compliance – Contractor shall have on his permanent staff a licensed commercial pesticide applicator as certified by the Texas Department of Agriculture or by the Structural Pest Control Board and shall comply with all applicable local, state and federal requirements regarding materials, methods of work and disposal of excess and waste materials.
 4. Contractor shall have on his permanent staff a licensed irrigator as certified by the Texas Commission on Environmental Quality (TCEQ).
 5. Contractor shall be licensed by the Texas Nursery and Landscape Association, shall possess a Texas Certified Landscape Professional, agricultural certificate and shall have not less than 5 years of experience in this type of work.
 6. Contractor shall respond to emergency or complaint calls regarding conditions in the landscape requiring immediate attention such as fallen trees or branches, and emergency preparedness for damage prevention in the event of severe weather forecasts, such as possible hurricanes or subfreezing temperatures.
 7. Contractor will be required to submit a schedule of activities as described within the Proposal. This schedule must be maintained throughout the life of the contract. The schedule should define the time taken to complete a full maintenance cycle. A cycle is defined as the amount of time in working days to mow and maintain all areas. The decision if a day is a workday or a weather day will be made by Owner and Contractor by 9:00 AM of any day in question. Weather permitting, and per submitted schedule, the Contractor is expected to be on-site and working.
 8. Contractor shall respond to special requests by Owner to provide labor, materials and equipment as dictated by special events or conditions on the Project.
 9. Contractor shall be responsible for damage caused to landscape area and materials, existing utilities and structures.
 10. Owner will not assume any responsibility for security of any materials or equipment belonging to Contractor on the Project.
 11. Contractor shall not utilize project facilities, such as restrooms and park facilities for breaks or lunch. Violation is subject to penalty.
 12. It is not the intent of the specifications to prohibit the use of an "equal" product. Brands are stated to demonstrate level of quality required. Bidders must submit a detailed proposal for equal product with the Bid Form. If no substitution is submitted with the Bid Form and approved in writing by the Owner, the Contractor shall use specified materials. Where not specifically called out, Contractor shall select an organic product or the least toxic product available for use on site.

E. Quality Control

1. All Work is to be completed on a Monday through Friday schedule between the hours of 7:00 am and 5:00 pm, unless otherwise approved in advance by the Owner.
2. Trees, Shrub and Hedge Maintenance:
 - a. Contractor should have a Certified Arborist on staff or have a working relationship with one, which would allow for consultation as necessary.
 - b. All pruning shall be Owner-approved in advance and comply with the American National Standard for tree care operations - Tree, Shrubs and Other Woody Plant Maintenance - Standard Practices - ANSI

A 300 (Part 1).

3. Use of Herbicides and Insecticides:
 - a. The Contractor shall have a State of Texas Licensed Chemical Applicator on staff who shall apply all chemicals used.
4. The Contractor is hereby granted permission to use herbicides or insecticides as deemed advantageous for grounds maintenance and as specified herein. They must be applied in accordance with all local, state and federal laws. The Owner has the right to prohibit the use of any such herbicide or insecticide that may be judged to be undesirable for any reason.
5. The Owner shall be notified prior to application and advised of any danger associated with the use of the products.
6. Material Safety Data Sheets (MSDS) for each chemical used will be maintained by the Contractor and be available for inspection by the Owner upon request.
7. Accurate chemical application logs will be maintained, and copies provided to the Owner after each application of insecticides, herbicides or other chemicals. A Materials Form will be submitted to Owner monthly which lists all other products and their amounts used in maintaining the Project.
8. Landscape Irrigation System:
 - a. The Contractor shall have a licensed irrigator on staff who shall supervise all irrigation repairs.
 - b. The Contractor shall monitor and program the automatic control device to proceed to optimum moisture levels in all planted areas. To effectively program the controller, become familiar with the Project's areas.
 - Before run-times are scheduled, walk the sites and inspect planted areas to observe plant health.
 - Soil moisture levels should be inspected throughout the planted areas, and appropriate adjustments shall be made to the irrigation zones runtimes.
 - Use soil probing methods to determine overall moisture levels, and the need to adjust irrigation schedules.
 - Look for standing water and soft muddy spots that would indicate too much water in that area.
 - c. For proper programming to occur, be sure that the controller is powered up and that the time of day and calendar year are current. A valid program must contain the following:
 - Watering days – what days watering is to occur
 - Start time(s) – when watering is to occur
 - Duration – how long watering is to occur (per station or zone)
 - d. Irrigation cycles shall be set to be completed prior to 7:00 am, unless otherwise instructed by the Owner.
 - e. The Contractor shall be required to notify the Owner of any and all broken pipes and sprinklers. The Owner may choose to repair the system or contract with the Contractor to make the repair. Should the Owner require the contractor to make the repairs, the contractor will be compensated for time and materials in accordance with the Unit Price Form.
 - f. The Contractor shall be responsible for adjusting the sprinkler heads to prevent damage to buildings and/or from excessive water running on to structures, buildings, sidewalks and roadways.
 - g. The Contractor shall submit a regular inspection schedule to the Owner at the commencement of the contract and notify the Owner a minimum of three (3) days in advance of all inspection times.
 - h. The Contractor shall conduct monthly irrigation inspections and provide the Owner/Owner's Representative with a monthly observation and activity report that includes, but is not limited to, Controller number, date and time of observation being reported, stations, run times, types of zones (bubblers, rotors, fans, turf, beds, etc.), type of head, landscape description and notes of present

conditions, deficiencies, and/or actions taken. Also include the name and license number of the irrigator making the report, and sample pictures of the observations reported. The number and approximate duration of site visits per month shall also be noted. Refer to Exhibit F.

- i. Contractor is responsible for winterizing irrigation systems, as weather demands, to prevent breaks and leaks in systems.
 - j. Any damage to the irrigation system incurred during regular maintenance shall be repaired immediately at the Contractor's expense.
 - k. Minor repairs that can be quickly repaired upon discovery within the workday, including, but not limited to controller battery replacement, small drip leaks and unclogging clogged nozzles, shall be considered incidental to the contract.
 - l. All irrigation backflow preventer boxes should have a City-issued combination lock. Inspections reports should confirm the lock is present and is in working order. WD40 should not be used to unfreeze locks. Only dry graphite should be used to dislodge stuck locks.
9. Clean Up:
- a. The Contractor shall dispose of all waste materials or refuse from the maintained property after each visit to include litter, trash and other debris removal from parking lots, driveways, gutter lines, pedestrian refuges, sidewalks, crosswalks and grounds.
 - b. Leaves, grass clippings and all other debris shall be removed after each mowing visit. Under no circumstances will leaves, clippings, or other debris, such as sand and loose rocks that accumulate on flatwork, be blown, swept or otherwise deposited into storm sewer drains, including ditches and other drainage structures such as concrete flumes on embankments, pilot channels and safety end treatments (SETs). All such refuse should be collected, bagged and taken to an appropriate trash receptacle. Collection may consist of sweeping or vacuuming into a container, but not blowing into the street or elsewhere in the community.
 - c. Contractor will conduct trash and debris removal from each site per visit.
10. Traffic Control:
- a. When working in areas on or adjacent to roadways, Contractor shall ensure appropriate traffic control devices are in place.
 - b. No closure of any lanes of traffic will be permitted without prior notification and approval of the Owner.
 - c. Contractor shall be cognizant of keeping vehicles and equipment off of the flatwork when possible and avoid general rutting in turf and plant bed areas, or other potential damage from vehicles.
11. Employee and Equipment Requirements:
- a. Contractor will provide the proof of Right to Work in the United States of America for each of their employees.
 - b. All contracted employees shall wear company uniforms with the company name or logo attached.
 - c. All vehicles owned by the Contractor and utilized to transport employees and equipment to Owner jobsites shall be identifiable by the company name attached to the vehicle.
 - d. Contracted employees shall not work shirtless or sleeveless. Footwear, gloves and headcover shall be appropriate to work.
12. Schedule and Frequency
- a. Contractor shall perform scope items per the attached Maintenance Schedule (Exhibit A).

PART 2 - EQUIPMENT

- A. Machinery requirements listed under this section are not intended to be restrictions of specific manufacturers or models unless so stated. Specific mention of manufacturers is intended as a guide to illustrate the final product of maintenance operations desired.

1. Lawn mowers shall be of the rotary or reel type in good working order, finely tuned to protect the lawn from excessive exhaust fumes. Mower blades shall be sharp to reduce shredding of the cut grass blades. Mowers need to be kept in balance with no bent blades. Mowers for Class A areas shall be walk-behind mowers, 36" to 48" cutting width. Riding mowers are not allowed to be used in Class A areas. Mowers for Class B areas shall be riding mowers.
 2. Lawn edgers shall be of a flexible or rigid blade type that will produce a fine clean vertical edge where lawns meet walkways, pavements or curbs.
 3. Fertilizer spreaders shall be handheld, manually pushed, or tractor operated to accommodate the area to be fertilized. No visible underlapping of applications will be permitted.
 4. Liquid spreaders shall be handheld, manually pushed, or tractor operated and shall have the capacity to accommodate the area to be sprayed. No visible underlapping of applications will be permitted.
 5. Over-seed spreaders shall be handheld, manually pushed, or tractor operated and shall have the capacity to accommodate the area to be sprayed. No visible underlapping of applications will be permitted.
 6. Injector equipment shall be handheld, manually pushed, or tractor operated and shall have the capacity to accommodate the area to be treated. No visible underlapping of applications will be permitted.
 7. Pruning tools shall be maintained in good working order, cutting edges shall be sharp. Disinfect all tools when used for the removal of diseased limbs, especially when dealing with fire blight or Oak wilt.
 8. Line trimmers may be used around poles, manholes, fire hydrants, power boxes, metal fences and other appurtenances which are within the Project. Use of line trimmers will not be permitted next to trees or shrubs where the bark may be damaged or next to wooden signs, fences and appurtenances that may be damaged as a result of use of line trimmers.
- B. Appropriate protective gear is to be used by all workers at all times. This includes, but is not limited to, pollen filter face masks, eye protection such as goggles, protective headsets, and hearing protection, etc.
- C. The Contractor assumes all liability for injuries resulting from the use of machinery. This includes, but is not limited to, weed trimmers, blowers, edgers, mowers, etc.

PART 3 - APPLICATIONS

- A. Pest Control, Disease Control and Weed Control
1. Contractor shall examine plant material per visit to determine signs of harmful insect presence or damage from harmful plant fungi in the turf, small trees, shrubs and ground cover areas. Upon locating such evidence, the Contractor shall report the matter to the Owner's Representative and take immediate remedial measures as specified herein. If specified actions do not achieve satisfactory results, the Contractor shall notify the Owner to determine if a qualified plant scientist is required. Additional methods that may include chemical application may be proposed by the Contractor if deemed appropriate or necessary. Chemical use will be determined by the extent of the infestation or disease and shall be used with permission of the Owner.
 2. Special effort shall be given to the control of fire ants infesting the site, especially in critical areas. Fire ant infestations shall be treated by Contractor when observed during the performance of landscape maintenance tasks, as a routine service by Contractor. Treat individual mounds with IGR broadcast bait as per manufacturer's instructions. Treat mound with contact insecticide if necessary, for safety in parks near play areas. Spring application of IGR bait applied in early March, fall application in early September. Do not apply IGR baits 24 hours before rainfall, re-apply if rain event occurs less than eight (8) hours following application. After control is accomplished, the ant mounds shall be lowered and tamped to the existing grade.
 3. Contact herbicides shall be used to prevent growth in paved areas or areas where vegetative growth is not permitted. Post-emergent, pre-emergent herbicides may be used at Contractor's discretion.

Herbicides are not to be used in groundcover, shrub beds and tree rings.

4. Pest control materials listed under this section, are expressly requested for use. Contractor may submit equal alternates for approval. Any chemical application for pest control must be approved by the owner and supervised by a State of Texas commercially certified applicator.
5. Written label instructions and manufacturer's recommendations must be followed when applying any chemical. Absolutely do not use fertilizer, amendments or chemicals in violation of the label. Application rates and dates of application of any amendments, chemical or fertilizer of any kind must be recorded and submitted with regular reports to the Owner.
6. Provide name and State of Texas license number of the chemical applicator.
7. Insecticides for control of insects on trees and plants shall be:
 - a. Soft Bodied Insects - Neem Oil, Orange Oil, BT, Soybean Oil, Rotenone/Pyrethrin.
 - b. Scale – treat when present with horticultural oil or a combination of Orange Oil +Rotenone/Pyrethrin. Follow the temperature restrictions for use of oil.
 - c. Aphids – treat with Neem Oil when present.
 - d. Borers – treat as for soft bodied insects. Notify Owner if significant infestation is observed.
 - e. Cankerworms – treat as for soft-bodied insects.
 - f. Bagworms – break web and remove from trees. Treat as for soft-bodied insects.
 - g. Webworms – break web and remove from trees. Treat as for soft-bodied insects.
 - h. Tent Caterpillars – break web and remove from trees. Treat as for soft-bodied insects.
 - i. Cucumber Beetles – treat when present between April and September with Neem Oil.
 - j. Pine Beetle – treat as per soft-bodied insects.
 - k. Tip Moths – treat with Neem Oil as needed.
8. Grass:
 - a. Grubworms –Check first in July and continue checking through mid-October. Notify owner if there are more than 8 grubworms per square foot present. Treat as per soft bodied insects.
 - b. Sod Webworms – treat when present between June and September with BT.
 - c. Armyworms – treat when present between May and September with Dipel DF.
 - d. Fire Ants – treat mounds with Orange Guard when present.
 - e. Fire Ants – apply broadcast bait AWARD ® at 1 ½ bs/ac per Maintenance Schedule.
 - f. Pythium Blight – treat when present during warm, wet weather with Fore.
 - g. Rust – treat when present between July and August with Fore.
 - h. Helminthosporium – treat during summer months with Daconil or Fore when disease is present.
9. Fungicides for Control of Diseases on Trees and Shrubs shall be:
 - a. Leaf Spot, Blight, Etc. – Neem Oil
 - b. Soil Diseases – MicroGro, PGA, Neem Oil
10. Miticides for Control of Mites:
 - a. During winter months, apply a dormant oil for the control of overwintering mites.
 - b. Treat Bermuda Grass mites when present from July through September with Neem Oil.
11. Fungicide for Brown Patch and Take-All control in St. Augustine Grass
 - a. In areas where St. Augustine has become dominant turf within a common area, treat these areas with the specific needs of St. Augustine Grass.
12. Herbicides for weed control in Class A Mow Turf Areas:
 - a. Post-emerge – Contractor shall remove, by digging, large clump grass/weeds such as Johnson Grass and Dallis Grass. Do not knock off excess dirt when removing as it reseeds weeds in the service area. Provide broadleaf herbicide application as per Maintenance Schedule (Exhibit A). Treat broadleaf weeds by additional spot treatment as needed. Spot treat perennial and annual weeds such as Dallis Grass and Crab Grass with herbicide appropriate to species for control as needed, usually during the summer months. Repeat spot treatment as necessary. Turn off the irrigation system 24-48 hours following treatment for effective control. Follow all label instruction.

Broadleaf weeds are to be controlled if a problem exists with the solutions modified as needed.

- b. Pre-emerge – Apply a pre-emerge weed control such as Pendi or Corn Gluten per Maintenance Schedule (Exhibit A). Pre-emergent herbicides shall not be used in areas where reseeding of Bermuda is likely to occur.
 - c. Herbicides for control of Poison Ivy shall be Ammate. Follow label instructions closely when applying.
 - d. Hand pulling of weeds is the standard unless an alternative method is approved by the Owner Representative. Evidence of unauthorized chemically treated areas may require Contractor to replace negatively impacted **grass, trees, or plants at Contractor's expense.**
 - e. Herbicides for weed control in Class B Mow Turf Areas: Post-emerge – Contractor shall remove, by digging, large clump grass/weeds such as Johnson Grass and Dallis Grass.
 - f. Herbicides for control of Poison Ivy shall be Ammate. Follow label instructions closely when applying.
13. Herbicides for weed control in Shrub/Planting Areas:
- a. Post-emergent - Contractor shall remove weeds by digging, hand cultivating. Remove weeddebris. Do not use chemical herbicides for post-emergent weed control.
 - b. Pre-emergent - Apply a pre-emergent weed control Corn Gluten twice in the Spring and twice in the Fall.
14. With any application of herbicide, add 1 tablespoon of liquid organic fertilizer with humates to increase uptake.
15. Growth regulators are prohibited.

B. Fertilization

1. Fertilizer requirements for Grass – Class A Mow areas - shall be:
- a. Apply three times yearly as per Maintenance Schedule (Exhibit A).
 - b. The spring and fall fertilizer shall be Power Gro 16-1-4, low salt (14% or lower), slow release, synthetic bridge granular fertilizer with 25% of the available nitrogen source being slow release from houactinite, ammonium sulfate and sulfur coated urea; with 10% sulfur and 3% iron.
 - c. The summer fertilizer shall be Microlife Humates Plus 0-0-4 biological plant/soil amendment with Yucca, humates, 70 minerals, plant hormones and plant stimulators. Apply at the rate of 10 lbs./1000 sf.
 - d. Operate the irrigation system on the same day of application. The system should operate for 45-60 minutes for rotary heads to thoroughly water in the fertilizer.
 - e. Apply all fertilizer to turf areas by spreading with a cyclone spreader.
 - f. If no irrigation exists apply fertilizers and soil amendments before a forecast of rain or when soil is moist and temperature cool. Supplement water manually using water trucks or hoses, if necessary.
2. Fertilizer requirements for Grass – Class B Mow areas - shall be:
- a. Apply three times yearly as per maintenance schedule (Exhibit A) .
 - b. The spring and fall fertilizer shall be Power Gro 16-1-4, low salt (14% or lower), slow release, synthetic bridge granular fertilizer with 25% of the available nitrogen source being slow release from houactinite, ammonium sulfate and sulfur coated urea; with 10% sulfur and 3% iron.
 - c. The summer fertilizer shall be Microlife Humates Plus 0-0-4 biological plant/soil amendment with Yucca, humates, 70 minerals, plant hormones and plant stimulators. Apply at the rate of 10 lbs./1000 sf.
 - d. Operate the irrigation system on the same day of application. The system should operate for 45-60 minutes for rotary heads to thoroughly water in the fertilizer.
- If no irrigation system exists, apply before a forecasted rain or when soil is moist and temperatures cool. Supplement water manually using water trucks or hoses, if necessary.

- e. Apply all fertilizer to turf areas by spreading with a cyclone spreader.
- 3. Fertilizer Requirements for Trees and Shrubs:
 - a. All shrub and groundcover beds shall be fertilized with Microlife 6-2-4 available at San Jacinto Environmental Supply. Apply at a rate of 30 lbs./1000 square feet.
 - b. Apply fertilizer for shrubs and groundcover the number of times per year as per Maintenance Schedule.
- 4. Fertilization for Seasonal Color:
 - a. Place 10 lbs. MicroGro Granular Biological Fungicide and 20 lbs. of Nature Blooms Color Fertilizer per 1000 sq. ft. and mix into soil 4" prior to each seasonal color change-out planting.
 - b. After planting, drench soil and foliar spray color with Maximum Blooms at the rate of 2 oz. per gallon of water.
 - c. On a monthly basis, repeat soil drench and foliar spray color with Maximum Blooms at the rate of 2 oz. per gallon of water.
- 5. Fertilization for the Control of Iron Chlorosis:
 - a. Apply granular sulfur at the rate of 1 to 5 lbs. per 100 sf as needed to treat problem.
- C. Irrigation System
 - 1. The Contractor shall monitor and program the automatic controlling devices to produce optimum moisture levels in all planted areas. To effectively program the controller, become familiar with the Project's areas.
 - a. Before run-times are scheduled, walk the sites and inspect planted areas to observe plant health.
 - b. Soil moisture levels should be inspected throughout the planted areas, and appropriate adjustments shall be made to the irrigation zones runtimes.
 - c. Use soil probing methods to determine soil moisture depth, overall moisture levels, and the need to adjust irrigation runtimes
 - d. Look for standing water and soft muddy spots that would indicate too much water in that area.
 - e. For proper programming to occur, be sure that the controller is powered up and that the time of day and calendar year are current. A valid program must contain the following:
 - Watering days - what days watering is to occur
 - Start time(s) - when watering is to occur
 - Duration - how long watering is to occur (per station or zone)
 - f. Irrigation cycles shall be set to start prior to sunrise (usually 1:00 am or earlier if necessary, to complete all watering by 7:00 am) unless otherwise instructed by the Owner or consultant, except during visits, the irrigation system may be operated as desired by those personnel. Adjust start times in cool weather to help prevent fungal problems.
 - g. Where there is more than one irrigation controller on the same water meter, do not program to water during the same time period, as overdraft of water meters will result. Alternate day programming may be required. Set controllers so that one finishes watering cycle before the next one starts its cycle. Each auto-controller is anticipated to run one station at a time, however, is capable of running multiple zones in water shortage times when run times need to be reduced. During periods of high rainfall, set controllers to "dry mode" until irrigation is needed.
 - h. Operation of sprinklers shall be monitored as described on the Maintenance Schedule (Exhibit A) to assure proper cover and operation, the setting of heads at the proper height, straightening heads, and the cleaning or adjusting of nozzles. Owner shall be notified of any sprinkler problems in the monthly irrigation report.
 - i. Adjust sprinklers to avoid over spray onto roadways, sidewalks, other flatwork and electrical systems. Make minor repairs and alternations to the irrigation system and water lines as they are discovered. Irrigation repairs such as nozzle adjustment, head height adjustments, straightening of heads, cleaning of weeds around heads or breaks caused by the Contractor shall be the Contractor's responsibility and is incidental to the contract.

2. The Contractor shall perform minor additions, subtractions, and/or adjustments to irrigation equipment (i.e. additions of spray head or riser extension) as may be required in order to conform to the irrigation requirements herein specified. Such additions, subtractions, and/or realignments to irrigation system equipment shall not materially reduce the extent or value of the irrigation system equipment and shall be accomplished upon receipt of authorization to proceed from the Owner's contact. Minor additions, subtractions, and/or adjustments shall not change the intent of the design. Major system components shall be replaced with similar equipment.
 - a. Supplemental irrigation where there is no irrigation system, or beyond that which can be provided by the irrigation system, shall be provided by the Contractor at the Owner's expense with the approval of the Owner's contact.
 - b. During times when the irrigation system is down or water is cut off, Contractor shall monitor landscape and notify Owner of the need for hand watering. Contractor shall provide hand watering upon the written approval of Owner's contact and at the Owner's expense.
 - c. If more significant changes to the irrigation system components will result in lower future maintenance costs, less frequent breakage, or an increase in public safety, Contractor may present evidence of increased value and request authorization from the Owner/ Owner Representative. No significant system changes will be made without prior Owner written approval.
 3. Contractor shall monitor weather forecasts during the months of subfreezing temperatures and shall shut down and drain irrigation systems to prevent freeze damage to systems. All freeze related irrigation system damage shall be repaired at Contractor's expense.
 4. Repairs and estimated amounts necessary to correct damage caused by other sources shall be reported to Owner's Representative for authorization to repair. Repairs of this nature shall be separate from this contract and shall be performed by qualified sprinkler personnel under the direction of a licensed irrigator in accordance with Texas state code.
 5. Monthly inspections of all systems shall be required to check for leaks, breakage, valve malfunction or other significant problems. A full report of all systems including listing by valve of any and all adjustments required and/or made shall be made according to Exhibit A. The report shall be written and submitted to the Owner with a monthly statement that includes, but is not limited to, controller, date and time of observation being reported, landscape description and notes of present conditions, deficiencies and/or actions recommended or taken. Include the name and license number of the inspector making the report and sample pictures of the observations reported. Any issues requiring action shall also be noted. Refer to Exhibit F.
 6. Note - payment will not be made without submission of report. Contractor shall notify the Owner when inspections will occur. Owner may have a representative present at inspections. Contractor shall submit a regular inspection schedule to the Owner at the commencement of the contract and notify the Owner a minimum of three (3) days in advance of all inspection times.
- D. Miscellaneous
1. Contractor shall monitor weather forecasts during months of subfreezing temperatures and drain vacuum branches and waterlines, if necessary, to prevent freeze damage to the facilities. Once the threat of freezing temperatures is over, the Contractor shall make system operational, and notify Owner of when and why the system is deactivated and activated at the various areas serviced under this contract.
- E. Fountains, Lighting and Electrical Systems
1. The floating fountains, lighting, and electrical systems are monitored under a separate contract.
 2. Include in reporting the status of the fountain and systems when there is a visible issue that the Owner needs to report to the fountain maintenance contractor.
- F. Signage and Walls
1. Cleaning of signage and walls are completed under a separate contract.
 2. Contractor shall include signage status in monthly reporting when there is a visible issue that the Owner

needs to report to the cleaning maintenance contractor.

G. Decomposed Granite

1. Contractor shall monitor gravel settling and fill or correct placement as needed. For example, no decomposed granite should be present within mulch areas.
2. Large aggregate shall be covered with DG.
3. Provide weed control as indicated in maintenance schedule (Exhibit A).
4. Repairs needed (beyond settling and filling of gravel) will be completed under a proposal approved by the Owner.

H. Landscape Lighting

1. The landscape lighting and electrical systems are monitored under a separate contract.
2. Include lighting and electrical system in reporting when there is a visible issue Owner needs to report to the electrical contractor.

I. Hardscape (Flatwork)

1. All flatwork is power washed under a separate contract.
2. Flatwork is any horizontal surface within scope area, not limited to concrete walks, concrete pavers, and sloped concrete, etc.
3. Contractor shall include flatwork status in monthly reporting when there is a visible issue that the Owner needs to report to the cleaning maintenance contractor.

PART 4 - EXECUTION

A. Trees, Shrubs and Groundcover

1. All suckers on trees and broken, damaged, or obstructing limbs of trees shall be continually removed from trees.
2. Remove stakes as soon as trees are well-rooted, and stakes are no longer needed. See Exhibit D for reference. Stakes and guys are to be inspected to prevent girdling of trunks or branches and to prevent rubbing that causes bark wounds. Notify Owner for approval prior to removal.
3. Re-mulch shrub beds, tree groupings and tree rings as per Maintenance Schedule (Exhibit A). See Exhibit D as reference diagram. Use decomposed, double-shredded native hardwood mulch, dark in color to a minimum depth of 2". Planting beds should never have more than 2" depth of mulch accumulated in a growing season. Too much mulch is a detriment to the health of the plant material. Turning/ cultivating of the mulch shall occur between mulching's as indicated in (Exhibit A). The root flare of trees and their bubblers should be visible after mulch cultivation or application. Mulch data sheet to be submitted and approved by Owner prior to installation.
4. Prune shrubs to create a uniformly dense plant or individual plants as appropriate to species. Selectively thin and tip back as per maintenance schedule. Prune to enhance natural branching effect of plants. Do not change shape of shrubs by pruning. Pruning shall be conducted so that the shape remains as originally planted. Shape shall not be changed unless directed by the Owner.
5. Mature trees shall be maintained eight (8) feet above the sidewalks and parking spaces. New trees planted within 12 months shall be maintained per Owner's instruction. Mature Trees shall be maintained fifteen (15) feet above roadways and fire lanes. Tree rings shall be cultivated as indicated in the Maintenance Schedule (Exhibit A). Trees dying due to poor maintenance as determined by the Owner's Urban Forester shall be replaced at the Contractor's expense.
6. Do not prune iris; hand-remove yellowed foliage from plant or plant base.
7. Refer to Maintenance Schedule (Exhibit A) for all pruning.
8. Straighten, and stake as necessary, all trees to maintain proper appearance. Remove stakes once tree has become sufficiently rooted as not to lean or sway heavily in one direction.
9. Shrub bed and groundcovers and tree rings and tree grouping areas:

- a. Complete weeding, trimming, edging and weed removal according to the Maintenance Schedule (Exhibit A) to promote growth and maintain neat, orderly appearance. Hand remove weeds from groundcover as necessary. Re-establish and/or maintain "V" cut bed edges to keep grasses from growing into planting bed areas. Grass shall not be trimmed lower than surrounding turf. "V" Cut bed edges are defined as the buffer separating mulch areas from turf areas and maintained to ensure a neat and uniform appearance between the two.
- b. Mulch areas. Refer to Exhibit D as reference. (Note, natural understory may be allowed to remain; consult Owner or Owner's Representative if a plant species is in question).
- c. Water beds after each fertilization to ensure incorporation of the fertilizer into the soil and prevent foliage burn.
- d. *Shear* groundcover in early spring prior to the growing season. Shear again lightly in fall to maintain low, dense growth. Groundcover beds bordering on paved surfaces must be edged as needed to retain a neat edge. Trim at low angle to curb or hard surface. Do not trim vertically so as to expose stems.
- e. Plant shaping. Contractor shall maintain bed shape as shown on Exhibit E planting plans.
- f. Replant all damaged, non-flowering, dead and/or thin areas in beds. Replacement of plant material not due to the Contractor's negligence will be at the Owner's expense upon receipt of written authorization to proceed.

B. Pruning

1. Trimming of all trees shall be limited to removal of dead limbs, branches back to point of branching, and lifting branches 4 to 8 feet above grade, as appropriate to species and age of tree.
2. Pruning of Crepe myrtle shall be minimal and ONLY as necessary to remove seed pods and the occasional wayward limb growth. Crepe myrtle shall be allowed to grow to full height of natural growth. Prune only as directed from Owner and/or Owner's representative. Do NOT cut back Crepe myrtle to reduced height.
3. Sucker growth shall be removed as per Maintenance Schedule (Exhibit A).
4. Contractor shall prune vines that are part of the landscaping project to provide accessible clear width along all sidewalks and handrails. All other vines shall be removed to a height of 8 feet above grade and cleared from adjacent sidewalks.
5. Natural growing shrubs are to be pruned only to promote natural aesthetic appearance, especially to remove freeze-damaged material.
6. Shrubs shall be trimmed to maintain intended shape as per Maintenance Schedule (Exhibit A).
7. Shrub rows (hedges) shall be pruned to a height of 30" to 36" as appropriate to species and location.

C. Mass Planting Beds/Seasonal Color

1. Weed Removal: All mass planting and seasonal areas are to be maintained as weed free at all times. Manual removal of weeds by hand is required to sustain high visual profile.
2. Annual color change-outs/replacements: Annuals will be changed as per Maintenance Schedule (Exhibit A), contingent upon weather conditions. Pinch back and dead head annuals at each visit to keep them from getting to leggy between change outs.
3. Mass planting areas shall be regularly mulched. See maintenance schedule (Exhibit A).
4. Mass planting cut bed edges shall be regularly maintained. (Exhibit D)
5. Annual bed preparation
 - a. Remove excess mulch or turn mulch into soil.
 - b. Place fertilizer as specified herein, B.4 Fertilization.
 - c. Plant 4" pot annuals at 9" OC.
 - d. Completely water in and apply foliar spray / soil drench.

- e. Replace weak or declining plants at any time as a part of the contract.

D. Turf

1. Class A Mowing

- a. The intent of this section is to produce a good quality stand of Bermuda grass with good thickness, health and beauty. (Same applies for St. Augustine sod in locations where originally installed.)
- b. Mowing: During periods of cool weather, mow Bermuda at 2.5" and St. Augustine at 3". During hot weather, the cut should be 2.5" to 3" for Bermuda and no lower than 3.5" for St. Augustine from the soil. Mowing shall be done per Maintenance Schedule (Exhibit A). Never scalp the lawn or cut more than 1/3 the existing top growth in one mowing. Rake and remove or catch clippings that remain on lawn surface.
- c. Do not mow excessively wet areas where equipment will track up or damage the turf. Use a string trimmer in such areas.
- d. When trimming or edging, use sharp blades to give crisp appearance along walks, curbs, tree rings, shrub beds and permanent structure. Use edger along curb and walks or use trimmer held vertically for clean cut. Do not scalp grass adjacent to hard surfaces (horizontally) or around tree rings.
- e. When trimming, use string trimmers around nonliving structures and objects. Do not allow turf to be trimmed shorter with a string trimmer than other turf areas mowed the same day.
- f. All curbs, sidewalks and driveways will be edged on each visit. All litter and debris will be removed from turf areas prior to mowing and disposed of by the contractor.
- g. When edging, never use trimmers around tree and shrub trunks. Strictly maintain a 4' diameter mulch ring from the tree trunk that is convex in shape with 2" depth mulch and a raised outer ring. The root flare of trees and irrigation bubblers should be visible after mulch cultivation or application.
- h. Watering: Provide a regular, deep watering program. The established turf should not be kept wet but should dry out somewhat between watering.
- i. In areas of established turf, do not allow lawn to grow over tree ball and saucer rim. Maintain height of grass at tree trunk with hand clippers or trimmer. Keep saucer rings neat and uniform in size and appearance.
- j. Fertilize lawns as required during the year as per the Maintenance Schedule (Exhibit A).
- k. See equipment requirements for Class A and Class B turf areas.

2. Class B Mowing

- a. The intent of this section is to produce acceptable turf in native or less-manicured areas.
- b. Mowing shall be done per Maintenance Schedule (Exhibit A). Contractor is made aware that native vegetation in wooded areas along roadways is not to be mowed or cut with line trimmers.
- c. Do not mow excessively wet areas.
- d. Fertilize non-irrigated areas lightly when temperatures are not hot and when rain is forecast, or ground is damp.

E. Weed Control

- 1. Contractor shall use extreme care in the use of chemicals for weed control. Before such applications are made, the turf should be well established and in a vigorous condition. Broadleaf weeds such as Malva, Dandelion, Clover, Dichondra, Plantain and grassy weeds can be controlled by applications of selective and recommended herbicides. Always follow label directions fully and carefully. Wash sprayer well after using herbicides.
 - a. Irrigation to sprayed areas should remain "off" for a period of two (2) days following spray applications. Repeat spray as required to kill completely. Wait sufficient time before re-spraying.

- b. Control Poison Ivy with Ammate or chemical appropriate to species.
 - c. Owner's representative shall be notified one day in advance of any applications.
 - d. Owner has specifically designated hand pulling of weeds to be the preferred method in the planters and flower beds, shrubs and groundcover.
 - e. Control of noxious weeds (Johnson Grass, Nut Grass, Poison Ivy, etc.): Contractor shall remove, by digging, large clump grass/weeds such as Johnson Grass and Dallis Grass. Do not knock off excess dirt when removing as it reseeds weeds in the service area. Noxious weeds shall be killed by using a chemical appropriate to species or other spray as approved by the Owner's representative. Spray only foliage of plant to be eradicated to avoid damage to adjacent plants.
 - f. Grasses and weeds growing in hardscape (i.e. concrete, brick, decomposed granite aggregate, etc.), expansion joints, cracks, grout, etc. shall be chemically removed as per Maintenance Schedule (Exhibit A).
 - g. Poison Ivy shall be monitored and removed throughout all areas.
- F. General Clean-up
- 1. Contractor shall furnish supervision, labor and equipment necessary to maintain the contracted areas free of litter unrelated to horticultural maintenance, including emptying on-site trash receptacles, as per Maintenance Schedule (Exhibit A). Property and paved surfaces shall be inspected per visit to ensure removal.
 - 2. Contractor shall remove and dispose of all waste materials or refuse from his operations immediately after maintenance functions have been performed.
 - a. Prior to mowing, all foreign matter to include excessive dirt piles, paper, boards, cans, bottles, grass clippings and cuttings, leaves, trimmings and debris shall be removed.
 - b. All paved areas including streets, sidewalks, pedestrian refuges/crosswalks, parking areas and gutters shall be cleaned of grass clippings, loose gravel and dirt piles after each mowing.
 - 3. Contractor shall be alert to car, truck or other vehicular machine ruts or tracks and shall smooth, fill ruts and reinstall sod so as to repair this type of damage and maintain smooth and even turf areas on an ongoing basis. This work shall be considered extra services if more than 25 square feet of turf or plants are affected and/or the ruts are less than or equal to 2 inches deep. Extra services payment requests for ruts require photographs and written authorization from Owner.
- G. Use of Herbicides, insecticides, sterilants and fungicides
- 1. The Contractor is hereby granted permission to use such herbicides, insecticides, sterilants, and fungicides as he may find necessary and advantageous in his exterior maintenance activities and as labels specify and as specified herein, except where Owner has specifically designated hand pulling of weeds to be the preferred method, such as in the planters and flower beds, and beds containing shrubs and groundcovers. Contractor is encouraged to use the least toxic and the minimum chemicals possible to maintain the project in accordance with these specifications. Herbicides, insecticides, sterilants and fungicides must be used responsibly and in strict conformance with Federal, State and Local laws and regulations. The Contractor assumes all liability for damage and/or equipment. The Owner retains the right to prohibit the use of any herbicide, insecticide, sterilant or fungicide that he may judge to be undesirable for any reason. A licensed commercial applicator shall be required for all restricted materials.
 - a. Products leaving an undesirable residue or odor shall not be used without consent of Owner.
 - b. The Owner's representative shall be notified prior to application and advised of any danger associated with the use of these products (i.e., to avoid personal contact with sprayed areas, etc.)
 - c. Apply insecticides as needed to protect all plant materials from damage. The Contractor shall be responsible for the choosing of chemicals and insecticides he uses and shall be accountable for any misuse of same.
 - d. Apply the proper fungicides, herbicides, and pesticides for the control of pests, weeds, and plant

diseases, or treat cuts on exposed surfaces of trees and shrubs for disease and pest control.

2. Insects: Control insects with proper applications as the problems arise. Use a commercial insecticide at the manufacturer's recommendations. Owner's representative shall be notified one (1) day in advance of any insect control use.
3. Disease: When they first appear, spray for diseases with an approved commercial fungicide strictly according to the manufacturer's recommendations. Owner's representative shall be notified one (1) day in advance of any disease control use.

H. Reporting

1. Contractor shall submit to Owner's Representative a Services Performed Report (SPR) on a monthly basis with application for payment. The report shall include the detail of all landscape maintenance work accomplished per week. These reports shall include:
 - a. The detailed use of all fertilizers, soil amendments, sprays, insecticides, fungicides and herbicides. Information detailing all applications shall include date of application, location, name of products or chemicals used, quantity used, name of pest or disease and type of plant treated.
 - b. The report shall include the detail of all irrigation systems maintenance work accomplished and a description of work accomplished along with a detailed listing of parts and materials used to repair and replace equipment damaged by Contractor's operations or as incidental to the contract as outlined in Section 4.i.
 - c. Contractor shall submit a Materials Form outlining material used, size of bag or bottle.
 - d. Contractor shall include all elements of Exhibit F Reporting Instructions for Services Performed Reports to be used in reporting for all work accomplished each month. Submit a sample report to Owner's Representative for approval prior to start of contract.
 - e. Contractor shall submit a Materials Form for materials used and size of bag or bottle.
 - f. Contractor shall submit a single monthly payment request for all areas served that include . an assigned , P.O. number, payment summaries and cost break downs by category and by entryway or corridor served
2. Monthly inspections of irrigation and landscaping shall be required to check for leaks, breakage, valve malfunction or other significant problems. A full report, including listing by valve of any and all adjustments, is required and shall be made monthly. The report shall be written and submitted to the Owner with a monthly billing statement that includes, but is not limited to, P.O. number, date and time of observation being reported, landscape description and notes of present conditions, deficiencies and/or actions recommended or taken. Include the status of fountains and systems in the reporting to report any visible problem, such as the fountains not operating. Include the status of lighting and electrical systems in the reporting to report any visible problem, such as the lights not operating or a meter that is off. Also include the name and license number of the inspector making the report and sample pictures of the observations reported. Any issues requiring action shall also be noted.
3. Contractor shall utilize the attached Reporting Instructions (Exhibit F).

I. 24-Hour Emergency Monitoring

1. In the event of an emergency related to landscape or irrigation on the site, the Contractor shall provide the Owner with an emergency contact number and shall be able to mobilize staff to come to the impacted site to make such emergency repairs as needed.

END OF SECTION

IV. EXHIBITS

- A. Maintenance Schedule
- B. Unit Cost Work Sheets
- C. Supplemental Unit Price Form
- D. Landscape Details and Diagrams of Overall Area Map, Project Areas and Components
- E. 329300 – Plants for Supplemental Items
- F. Reporting Instructions

Pearland Landscape Maintenance Specifications

Pearland Economic Development Corporation (PEDC)

Clark Condon

Exhibit A - Maintenance Schedule

Goal	Service	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	TOTAL
Manicure	Mowing and Edging (Class A)	2	2	4	4	4	4	4	4	4	4	4	2	42
	Mowing and Edging (Class B)	2	2	4	4	4	4	4	4	4	4	4	2	42
	Trash and Debris Removal	2	2	4	4	4	4	4	4	4	4	4	2	42
	Hand Weeding of Mass Plantings & Shrub Beds	2	2	4	4	4	4	4	4	4	4	4	2	42
	Weed Control in Hardscape	1	1	2	2	2	2	2	2	2	2	2	1	21
	Decomposed Granite Volume Monitoring & Weed Control	1	1	1	1	1	1	1	1	1	1	1	1	12
	Cut V-Edge/Bed Edge Maintenance - Tree Rings and plant beds		1			1			1				1	4
	Fertilize Turf - Class A Areas**			1				1			1			3
Nourish & Protect	Fertilize Plantings, Shrubs and Groundcover**			1						1				2
	Mulch Tree Rings, Tree Areas, Planting/Shrub Beds		1								1			2
	Overseed Turf				1						1			2
	Change Out Seasonal Planting Colors					1					1			2
	Cultivate Tree Rings, Tree Areas, Planting/Shrub Beds						1							1
	Dead Heading of Annuals/Perennials	0	0	1	1	1	1	1	1	1	1	1	0	9
	Removal of Sucker Growth From Trees	0	0	1	1	1	1	1	1	1	1	1	0	9
	Prune Shrubs and Thin Groundcover	1			1				1			1		4
Trim	Prune Trees Annually (Dec - Feb ONLY)	1												1
	Fire Ant Spot Treatment	1	1	2	2	2	2	2	2	2	2	2	1	21
	Broadcast Ant Bait Application			1						1				2
	Pre-emergent Weed Control**			1	1					1	1			4
	Post-emergent Broadleaf Herbicide Application					1						1		2
	Broadleaf Herbicide Spot Treatment						1	1	1	1	1			5
	Monthly Irrigation Inspection, Report, Lock Inventory	1	1	1	1	1	1	1	1	1	1	1	1	12
	Monthly Services Performed Report	1	1	1	1	1	1	1	1	1	1	1	1	12
Report	PM Landscape Site Walks & Annual Irrigation Test w/ Owner Rep.			2			2			2	1		2	9
	**Application dates may be adjusted at Contractor's Discretion based on soil temp.													

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location A - Dixie Farm Entryway							
	Task	Unit	Qty.	Unit Cost	Per Task Cost	Fre- quency	Extension
1	Mowing and Edging Class A	AC	2.04			42	
2	Mowing and Edging Class B	AC	0	N/A	N/A	N/A	N/A
3	Trash and Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Cut Bed Edge Maintenance	EA	0			21	
6	Weed Control in Hardscape	EA	1			12	
7	Decomposed Granite Volume Monitoring & Weed Control	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	2.04			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	95			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	95			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	95			9	
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	95			1	
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location B - Pearland Pkwy Entryway (Bridge to Roundabout - excludes ponds)							
	<u>Task</u>	<u>Unit</u>	<u>Qty.</u>	<u>Unit Cost</u>	<u>Per Task Cost</u>	<u>Fre- quency</u>	<u>Extension</u>
1	Mowing and Edging Class A	AC	6			42	
2	Mowing and Edging Class B	AC	4.75			42	
3	Trash and Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Cut Bed Edge Maintenance	EA	1			21	
6	Weed Control in Hardscape	EA	1			12	
7	Decomposed Granite Volume Monitoring & Weed Control	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	10.75			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	140			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	140			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	140			9	
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	140			1	
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location C - Cullen Corridor							
	<u>Task</u>	<u>Unit</u>	<u>Qty.</u>	<u>Unit Cost</u>	<u>Per Task Cost</u>	<u>Fre- quency</u>	<u>Extension</u>
1	Mowing and Edging Class A	AC	3.67			42	
2	Mowing and Edging Class B	AC	0	N/A	N/A	N/A	N/A
3	Trash & Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Weed Control in Hardscape	EA	1			21	
6	Decomposed Granite Volume Monitoring & Weed Control	EA	1			12	
7	Cut V-Edge/Bed Edge Maintenance - Tree Rings and plant beds (Exhibit D)	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	3.67			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	196			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	196			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	196			9	
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	196			1	
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location D - SH35/Main Street Corridor (Beltway 8 to FM 518)							
	Task	Unit	Qty.	Unit Cost	Per Task Cost	Fre- quency	Extension
1	Mowing and Edging Class A	AC	8.11			42	
2	Mowing and Edging Class B	AC	0	N/A	N/A	N/A	N/A
3	Trash and Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Weed Control in Hardscape	EA	1			21	
6	Decomposed Granite Volume Monitoring & Weed Control	EA	1			12	
7	Cut V-Edge/Bed Edge Maintenance - Tree Rings and plant beds (Exhibit D)	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	8.11			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	839			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	839			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	839			9	
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	839			1	
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location E - Broadway East Entryway							
	<u>Task</u>	<u>Unit</u>	<u>Qty.</u>	<u>Unit Cost</u>	<u>Per Task Cost</u>	<u>Fre- quency</u>	<u>Extension</u>
1	Mowing and Edging Class A	AC	0.09			42	
2	Mowing and Edging Class B	AC	0	N/A	N/A	N/A	N/A
3	Trash and Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Cut Bed Edge Maintenance	EA	0			21	
6	Weed Control in Hardscape	EA	1			12	
7	Decomposed Granite Volume Monitoring & Weed Control	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	0.09			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	2			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	2			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	2			9	
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	2			1	
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance Location F - Yost Entry @ Scarsdale							
	<u>Task</u>	<u>Unit</u>	<u>Qty.</u>	<u>Unit Cost</u>	<u>Per Task Cost</u>	<u>Fre- quency</u>	<u>Extension</u>
1	Mowing and Edging Class A	AC	0	N/A	N/A	N/A	N/A
2	Mowing and Edging Class B	AC	0	N/A	N/A	N/A	N/A
3	Trash and Debris Removal	EA	1			42	
4	Hand Weeding of Mass Plantings & Shrub Beds	EA	1			42	
5	Cut Bed Edge Maintenance	EA	1			21	
6	Weed Control in Hardscape	EA	1			12	
7	Decomposed Granite Volume Monitoring & Weed Control	EA	1			4	
8	Fertilize Turf - Class A Areas**	AC	0.05			3	
9	Fertilize Plantings, Shrubs and Groundcover**	EA	1			2	
10	Mulch Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	1			2	
11	Overseed Turf	EA	1			2	
12	Change Out Seasonal Planter Colors	EA	1			2	
13	Cultivate Tree Rings, Tree Areas, Planter Bed & Shrubs	EA	1			1	
14	Dead Heading of Annuals/Perennials	EA	1			9	
15	Removal of Sucker Growth From Trees	EA	0	N/A	N/A	N/A	N/A
16	Prune Shrubs and Thin Groundcover	EA	1			4	
17	Prune Trees Annually (Dec - Feb ONLY)	EA	0	N/A		N/A	N/A
18	Fire Ant Spot Treatment	EA	1			21	
19	Broadcast Ant Bait Application	EA	1			2	
20	Pre-emergent Weed Control**	EA	1			4	
21	Post-emergent Broadleaf Herbicide Application	EA	1			2	
22	Broadleaf Herbicide Spot Treatment	EA	1			5	
23	Monthly Irrigation Inspection and Report (Exhibit F)	EA	1			12	
24	Monthly Services Performed Report (Exhibit F)	EA	1			12	
	TOTAL ANNUAL MAINTENANCE						

IV. EXHIBITS
EXHIBIT B - Unit Cost Worksheets

Exhibit B - Pearland Landscape Maintenance						
Alternate 1 - Kickoff Service						
Contractor will bring the irrigation up to specifications within thirty (30) days of the contract's Notice to Proceed date at Owner's expense. If unable to bring the project up to specifications within thirty (30) days, Contractor shall request a time extension from the Owner. It is the Contractor's responsibility to ensure that adequate labor, equipment and tools are provided for irrigation maintenance.						
<u>Area</u>	<u>Unit</u>	<u>Qty.</u>	<u>Unit Cost</u>	<u>Per Task Cost</u>	<u>Fre- quency</u>	<u>Extension</u>
1 FM 865/Cullen Pkwy	EA	1			1	
2 SH 35/ Main Stret	EA	1			1	
3 Pearland Parkway	EA	1			1	
4 Yost	EA	1			1	
5 Dixie Farm	EA	1			1	
6 Broadway East	EA	1			1	
TOTAL KICKOFF SERVICE						

IV. EXHIBITS
EXHIBIT C – Supplemental Price Form

Contractors shall provide cost for replacement of some standard items or standard activities. These prices will be utilized to establish unit prices for these services as they occur during duration of this contract. Cost provided is to include installed (i.e. labor and materials) or completed task (i.e. all associated task costs including permits, fees, etc.).

ITEM	QTY.	UNIT	ITEM	UNIT COST	EXTENSION
1.	1	EA	Hunter #AFB Irrigation Bubbler replacement	\$	\$
2.	1	EA	Irrigation Spray PROS Series replacement	\$	\$
3.	1	EA	Irrigation Rotary head #2.5 replacement	\$	\$
4.	1	EA	Irrigation Rotary head #3.0 replacement	\$	\$
5.	1	EA	Irrigation Rotary head #4.0 replacement	\$	\$
6.	1	EA	Irrigation Rotary head #6.0 replacement	\$	\$
7.	1	EA	Irrigation Rotary head #8.0 replacement	\$	\$
8.	1	LF	Irrigation Drip Tube (TLHCVXR5-12) replacement	\$	\$
9.	1	LF	Irrigation Drip Tube (PLD-06-12) replacement	\$	\$
10.	1	EA	Hunter ICV Remote Control Valve replacement	\$	\$
11.	1	EA	Hunter ICV 'Tree Bubbler Zone' Remote Control Valve	\$	\$
12.	1	EA	Hunter Drip Valve/ Pressure Regulator Assembly	\$	\$
13.	1	EA	Netafim LVCZ Drip Valve/ Pressure Regulator Assembly	\$	\$
14.	1	EA	Hunter PCZ, ICZ Drip Valve/ Pressure Regulator Assembly	\$	\$
15.	1	EA	Hunter HQ-33-LRC-R Quick Coupling Valve replacement	\$	\$
16.	1	EA	Hunter ACC-99D Automatic Controller replacement	\$	\$
17.	1	EA	DIG LEIT X28 Automatic Controller replacement	\$	\$
18.	1	EA	Hunter IC-4200-ACC Automatic Controller replacement	\$	\$
19.	1	EA	Hunter IC-12-ACC-PED Automatic Controller replacement	\$	\$

IV. EXHIBITS
EXHIBIT C - Supplemental Unit Price Form

ITEM	QTY.	UNIT	ITEM	UNIT COST	EXTENSION
20.	1	EA	Hunter IC-1800-ACC-PED Automatic Controller replacement	\$	\$
21.	1	EA	Wilkins 375 Reduced Pressure Backflow replacement	\$	\$
22.	1	EA	Febco 1" #765 Pressure Vacuum Breaker replacement	\$	\$
23.	1	EA	Wilkins 350 Series Backflow Preventer replacement	\$	\$
24.	1	EA	17"x30" Concrete Valve Box with Cast Iron Lid replacement	\$	\$
25.	1	EA	Insulated "Hot Box" Enclosure replacement	\$	\$
26.	1	EA	Irrigation Manual Line Flush Valve replacement	\$	\$
27.	1	EA	Irrigation Water Meter replacement	\$	\$
28.	1	EA	Pole Mounted Rain/Freeze Sensor replacement	\$	\$
29.	1	LF	Irrigation Pipe -1/2" #315	\$	\$
30.	1	LF	Irrigation Pipe - 3/4" #200	\$	\$
31.	1	LF	Irrigation Pipe - 1" #200	\$	\$
32.	1	LF	Irrigation Pipe 1 1/4" #200	\$	\$
33.	1	LF	Irrigation Pipe 1 1/2" #200	\$	\$
34.	1	LF	Irrigation Pipe 2" #200	\$	\$
35.	1	LF	Irrigation Pipe - 1" SCH 40	\$	\$
36.	1	LF	Irrigation Pipe 2" SCH 40	\$	\$
37.	1	LF	Irrigation Pipe - 2 1/2" SCH 40	\$	\$
38.	1	LF	Irrigation Pipe - 3" SCH 40	\$	\$
39.	1	LF	Irrigation Pipe - 4" SCH 40	\$	\$
40.	1	LF	Irrigation Pipe - 2" SCH 80	\$	\$
41.	1	AC	Soil Aerator	\$	\$

IV. EXHIBITS
EXHIBIT C - Supplemental Unit Price Form

ITEM	QTY.	UNIT	ITEM	UNIT COST	EXTENSION
42.	1	EA	Deep Root Watering (per tree)	\$	\$
43.	1	EA	Trees - Eagleston Holly 65 gal.	\$	\$
44.	1	EA	Trees - Natchez Crape Myrtle 65 gal. Single Trunk	\$	\$
45.	1	EA	Trees - Natches Crape Myrtle 65 gal. Multi-Trunk	\$	\$
46.	1	EA	Trees - Muskogee Crape Myrtle 65 gal. Multi-Trunk	\$	\$
47.	1	EA	Trees - Crape myrtle 45 gal.	\$	\$
48.	1	EA	Trees - Green Ash 45 gal.	\$	\$
49.	1	EA	REMOVED LINE ITEM - No Price needed	\$	\$
50.	1	EA	Trees - 'High Rise' Live Oak 65 gal.	\$	\$
51.	1	EA	Trees - Live Oak 65 gal.	\$	\$
52.	1	EA	Trees - Willow Oak 65 gal.	\$	\$
53.	1	EA	Trees - Water Oak 45 gal.	\$	\$
54.	1	EA	Trees - Bald Cypress 65 gal.	\$	\$
55.	1	EA	Trees - Bald Cypress 45 gal.	\$	\$
56.	1	EA	Trees - Cedar Elm 65 gal.	\$	\$
57.	1	EA	Trees - Cedar Elm 45 gal.	\$	\$
58.	1	EA	Plant Materials - Bottlebrush 3 gal.	\$	\$
59.	1	EA	Plant Materials - Butterfly Iris 3 gal.	\$	\$
60.	1	EA	Plant Materials - Carissa Holly 3 gal.	\$	\$
61.	1	EA	Plant Materials - Purple Trailing Lantana 1 gal.	\$	\$
62.	1	EA	Plant Materials - Indian Hawthorne 3 gal.	\$	\$

IV. EXHIBITS
EXHIBIT C - Supplemental Unit Price Form

ITEM	QTY.	UNIT	ITEM	UNIT COST	EXTENSION
63.	1	EA	Plant Materials - Indian Hawthorne 5 gal.	\$	\$
64.	1	EA	Plant Materials - Knockout Rose 3 gal.	\$	\$
65.	1	EA	Plant Materials - Big Blue Liriope 1 gal.	\$	\$
66.	1	EA	Plant Materials - Monkey Grass 1 gal.	\$	\$
67.	1	EA	Plant Materials - Asian Jasmine 1 gal.	\$	\$
68.	1	EA	Plant Materials - Carolina Jessimine 1 gal.	\$	\$
69.	1	EA	Plant Materials - Coral Honeysuckle 1 gal.	\$	\$
70.	1	LF	Plant Materials - Bermuda Sod	\$	\$
71.	1	EA	Shrub Removal, including root	\$	\$
72.	1	EA	Tree removal, 3" to 6"	\$	\$
73.	1	EA	Tree removal, over 6" to 12"	\$	\$
74.	1	EA	Stump removal (12" to 24" dia.) including grinding to 12" depth	\$	\$
75.	1	LF	Shovel Cut Bed Edging	\$	\$
76.	1	CY	Topsoil Fill and Fine Grade	\$	\$
77.	1	CY	Compost, in place, 1/2" to 3/4" depth	\$	\$
78.	1	CY	Mulch, in place, 2" depth	\$	\$
79.	1	LF	Drainpipe - 4" Perforated ADS Flex	\$	\$
80.	1	SF	Grade Preparation and Solid Sod	\$	\$
81.	1	BAG	Power Grow 16-1.14, applied at 7 lbs./1000 sf	\$	\$
82.	1	BAG	Microlife Humates Plus 0-0-4 applied at 10 lbs./1000 sf	\$	\$
83.	1	BAG	Microlife Hybrid 20-0-5 applied at 7 lbs./1000 sf	\$	\$
84.	1	BAG	Microlife 6-24 applied at 20 lbs./1000 sf	\$	\$

IV. EXHIBITS
EXHIBIT C - Supplemental Unit Price Form

ITEM	QTY.	UNIT	ITEM	UNIT COST	EXTENSION
85.	1	CY	Decomposed Granite	\$	\$
86.	1	CY	Gravel/ Salado Rose Color	\$	\$
87.	1	SF	Sidewalk - Material - 6" Thick Concrete	\$	\$
88.	1	SF	Sidewalk - Maintenance - Power Wash	\$	\$
89.	1	EA	Ironsmith Paver Grate & Trim Ring	\$	\$
90.	1	SF	Concrete Paver - Holland: 4"x 8" x 60 MM	\$	\$
91.	1	SF	Concrete Mow Band	\$	\$
92.	1	LF	1/4" x 5" Steel Edging	\$	\$
93.	1	LF	Cast Stone Cap	\$	\$
94.	1	LF	Stone Veneer/ Ashlar Pattern	\$	\$
95.	1	LF	Metal Rail Fence - Item	\$	\$
96.	1	LF	Metal Rail Fence - Maintenance - Power Wash	\$	\$
97.	1	LF	Chain Link Fence	\$	\$
98.	1	EA	Pipe Gate	\$	\$
99.	1	EA	Floating Fountain	\$	\$
100.	1	LF	Curb Painting - Per TxDOT Specification	\$	\$

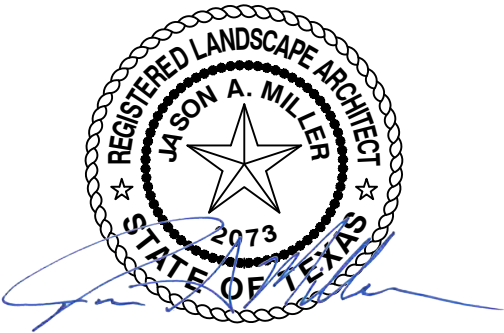
V. DIAGRAMS

Page 1	Overall Maintenance Locations & Phasing
A1.1	Dixie Farm Road
A1.2	Dixie Farm Road Enlargement
B1.1-1.3	Pearland Parkway
B1.4-1.6	Pearland Parkway Enlargement
C1.1-1.3	Cullen Boulevard
C1.4-1.15	Cullen Boulevard Enlargement
D1.1-1.8	S.H. 35/Main St.
D1.9-1.28	S.H. 35/Main St. Enlargement
E1.1	Broadway East Entry
E1.2	Broadway East Entry Enlargement
F1.1	Yost/Scarsdale Blvd.

Pearland Landscape Maintenance Specifications

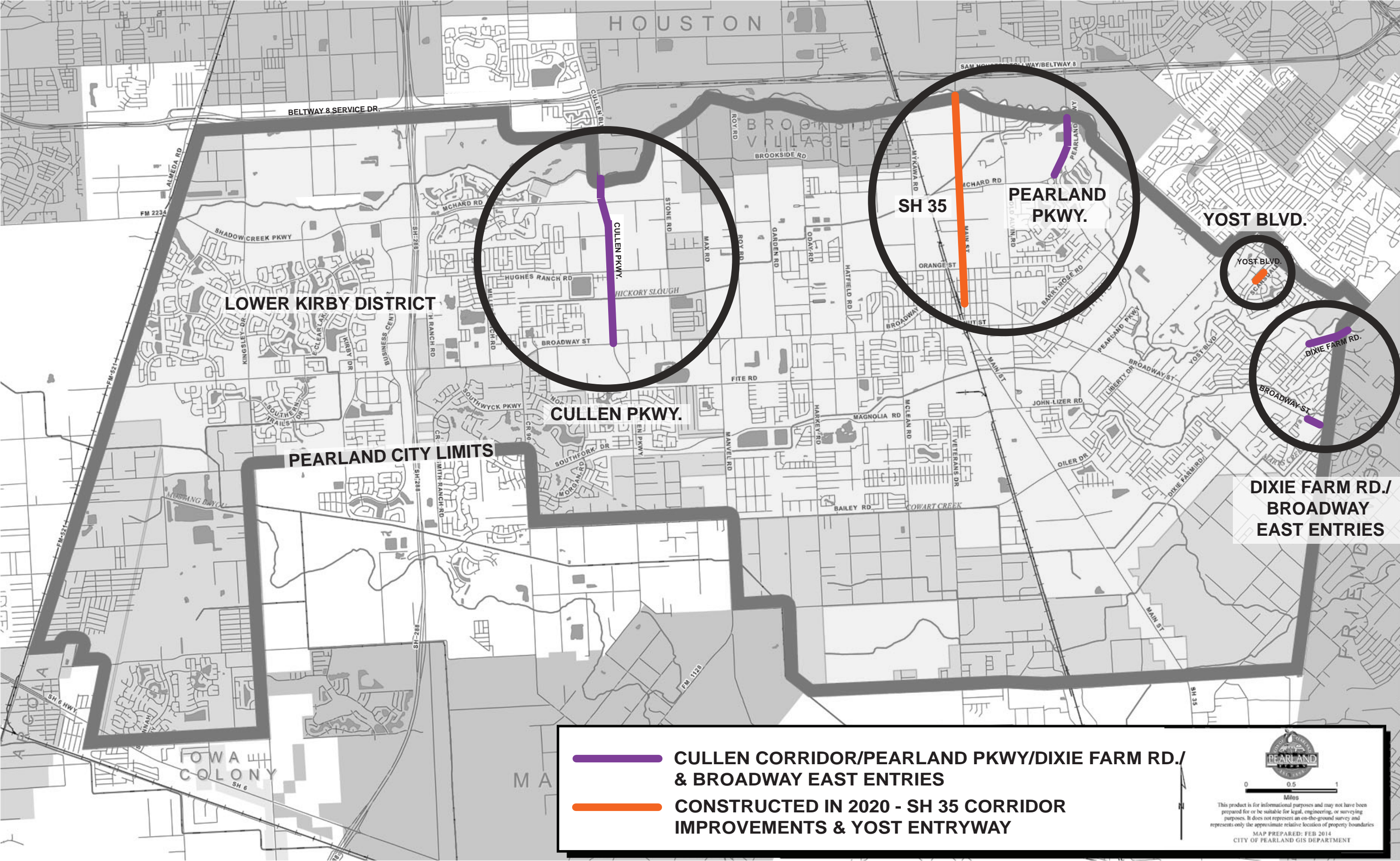
Pearland Economic Development Corporation (PEDC)

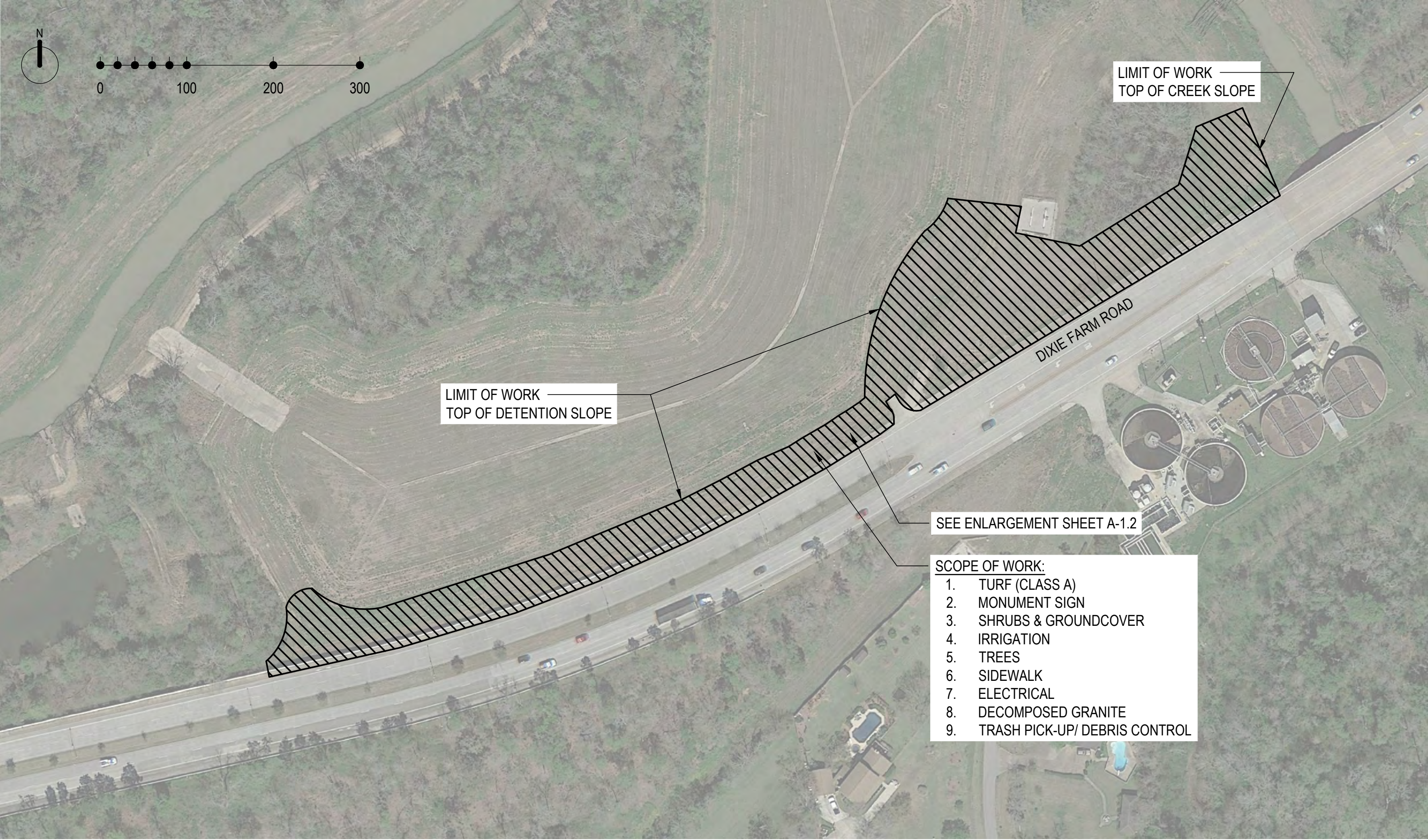
Clark Condon



05/25/2021

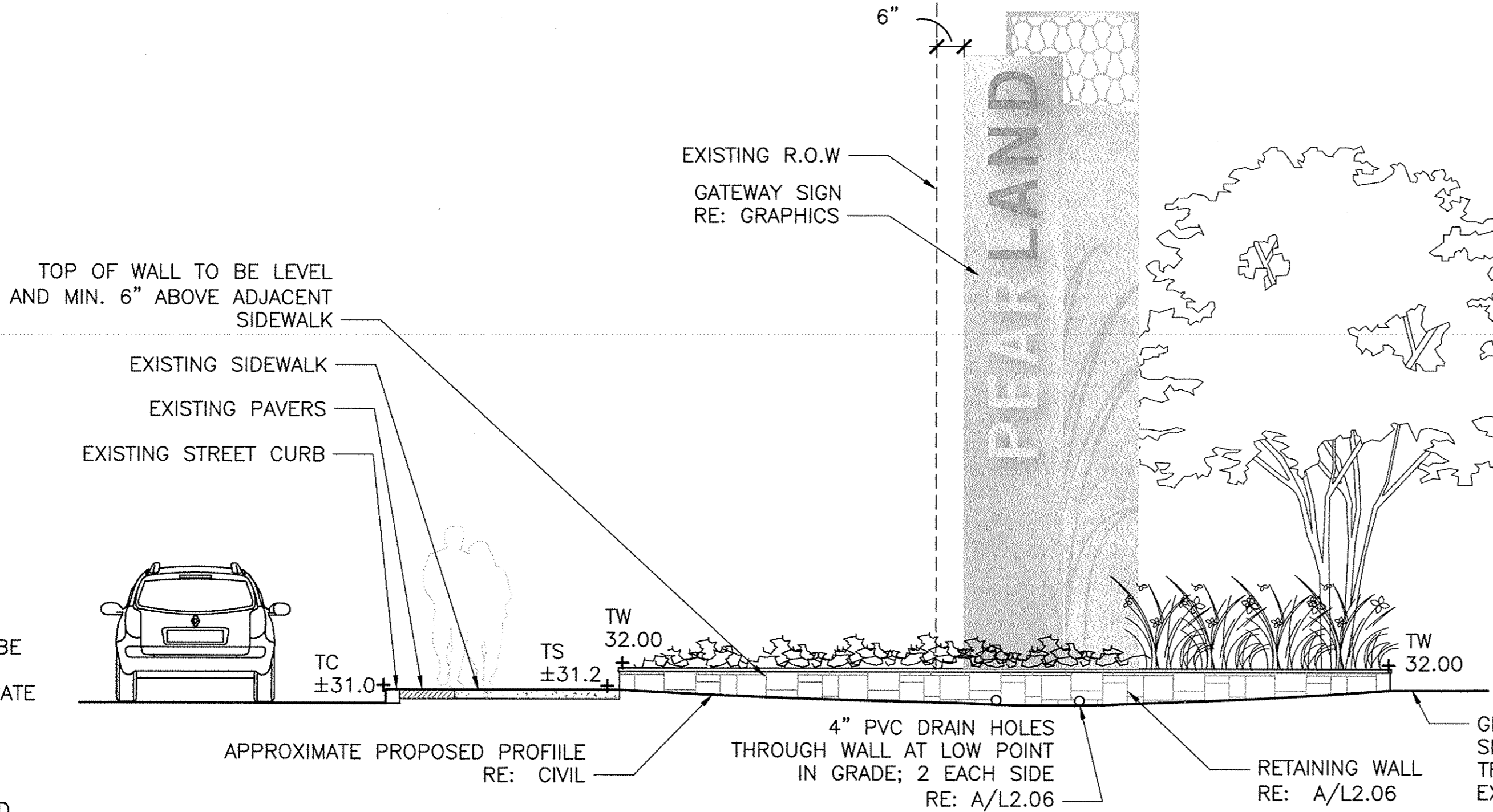
EXHIBIT C - PEARLAND EDC MAINTENANCE AREA MAP





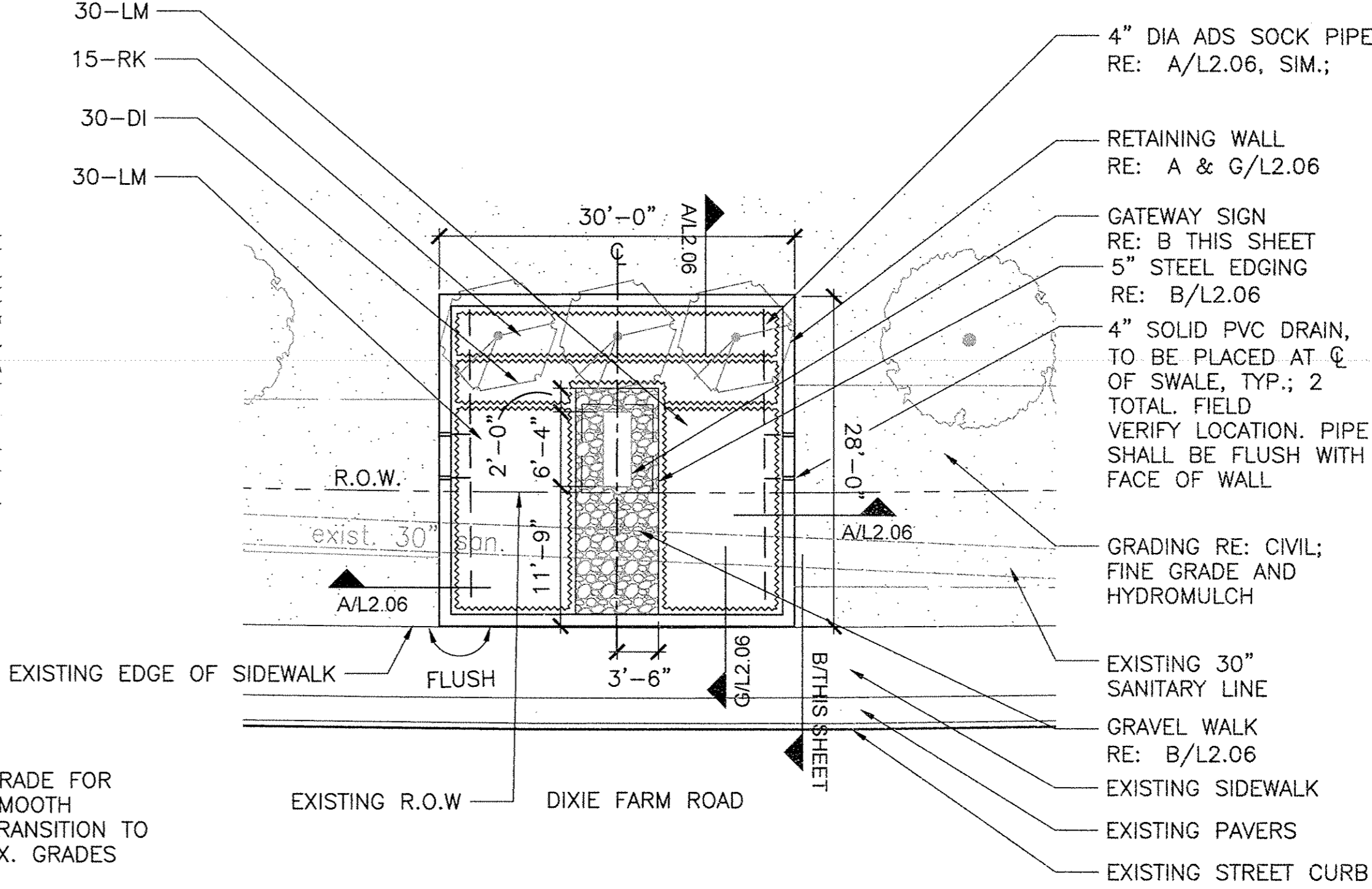
PLANTING KEY	
SYM.	COMMON NAME
TREES	
QN	MEXICAN WHITE OAK
QV	LIVE OAK
UC	CEDAR ELM
LI	CREPEMYRTLE
FP	GREEN ASH
QV	WILLOW OAK
TREES	
DI	BUTTERFLY IRIS
RK	KNOCKOUT ROSE
LM	LANTANA
	GRADE & HYDROMULCH, SEE NOTE 3

- NOTES:
1. FINAL LOCATION OF SIGN SHALL BE DETERMINED ON SITE AND APPROVED BY OWNER. FIELD LOCATE ALL EXISTING UTILITY LINES FOR OWNER'S REVIEW PRIOR TO FINAL PLACEMENT OF SIGN.
 2. FILL RUTS, REPAIR GRADE AND HYDROMULCH ALL AREAS DAMAGED BY CONSTRUCTION, IRRIGATION, AND/OR PLANTING.
 3. REMOVE ALL EXISTING VEGETATION BY MECHANICAL AND/OR CHEMICAL MEANS IN AREA TO BE HYDROMULCHED. ROUGH GRADE AS PER CIVIL DRAWINGS. HAND RAKE TO FINE GRADE; SPREAD FERTILIZER, SOIL AMENDMENTS AND HYDROMULCH.



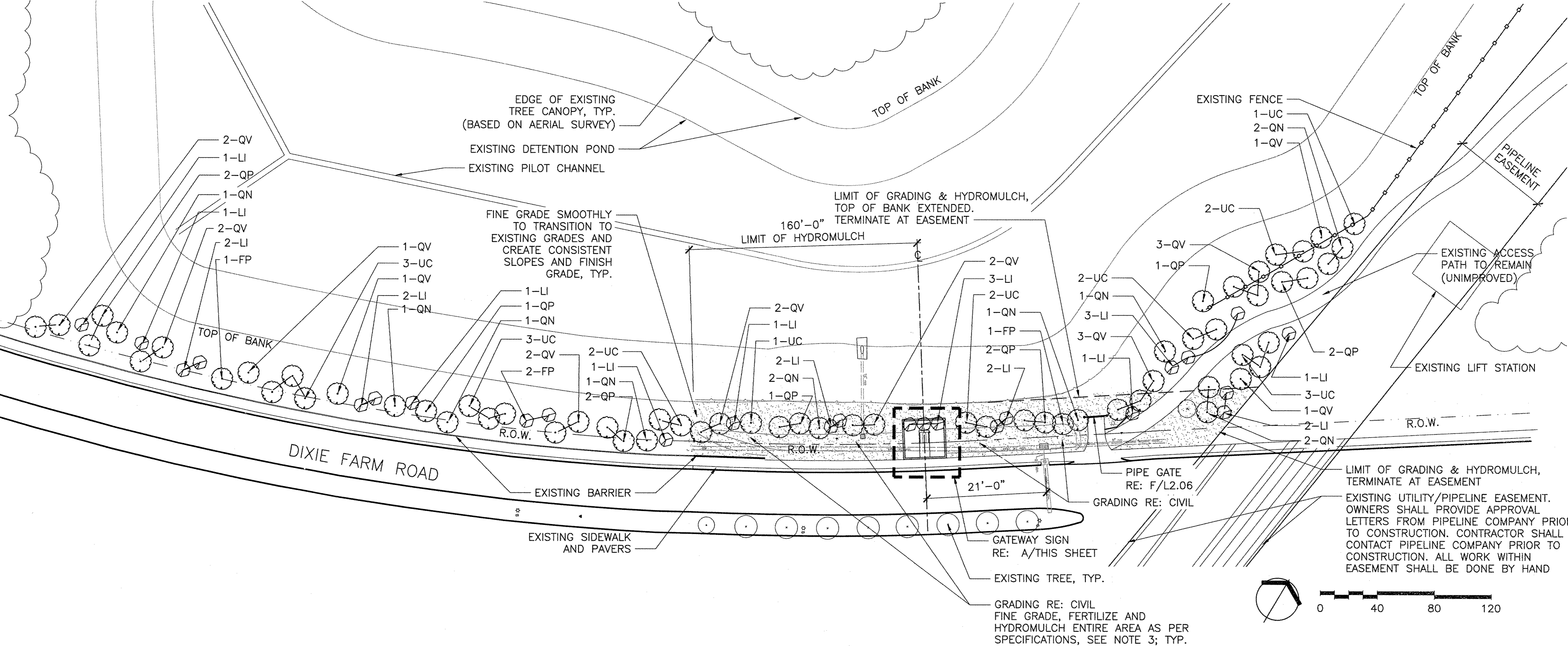
B GATEWAY SIGN - DIXIE FARM ROAD
SECTION

1/4" = 1'-0"



A GATEWAY SIGN - DIXIE FARM ROAD
PLAN

1" = 10' - 0"



Pearland Pkwy & Dixie Farm Rd

Corridor Improvements

City of Pearland

Pearland, TX

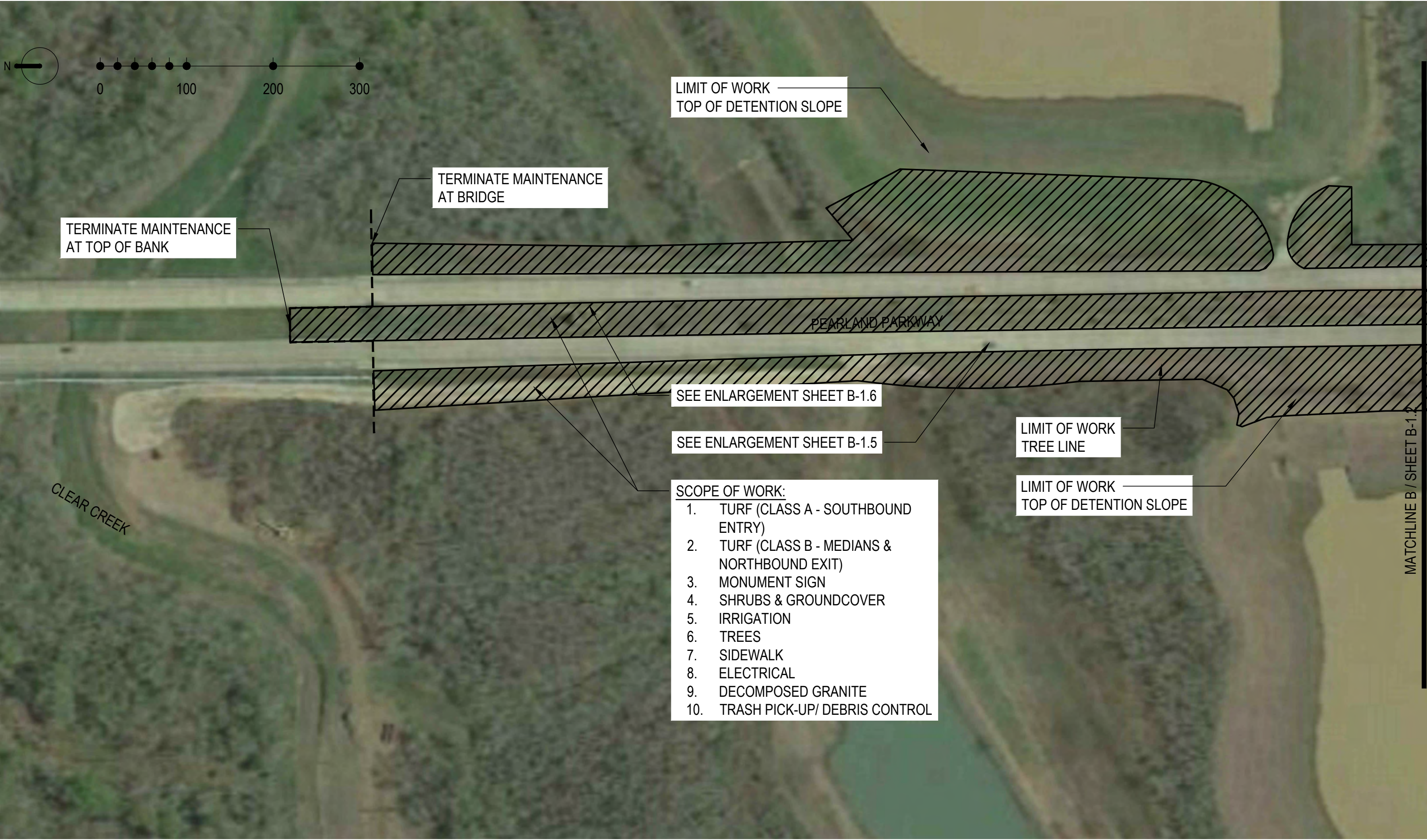
**CONSTRUCTION & PLANTING
PLAN - DIXIE FARM RD**

DRAWN: IMC
CHECKED: SSS
SCALE: AS NOTED
DATE: 10/14/15
CCA PROJECT NO: 114-052

A1.2



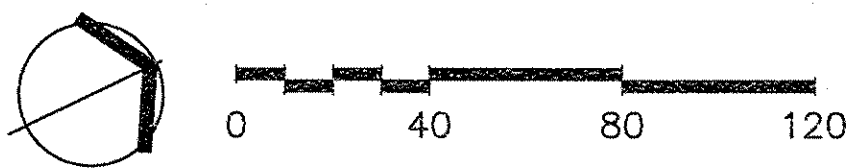
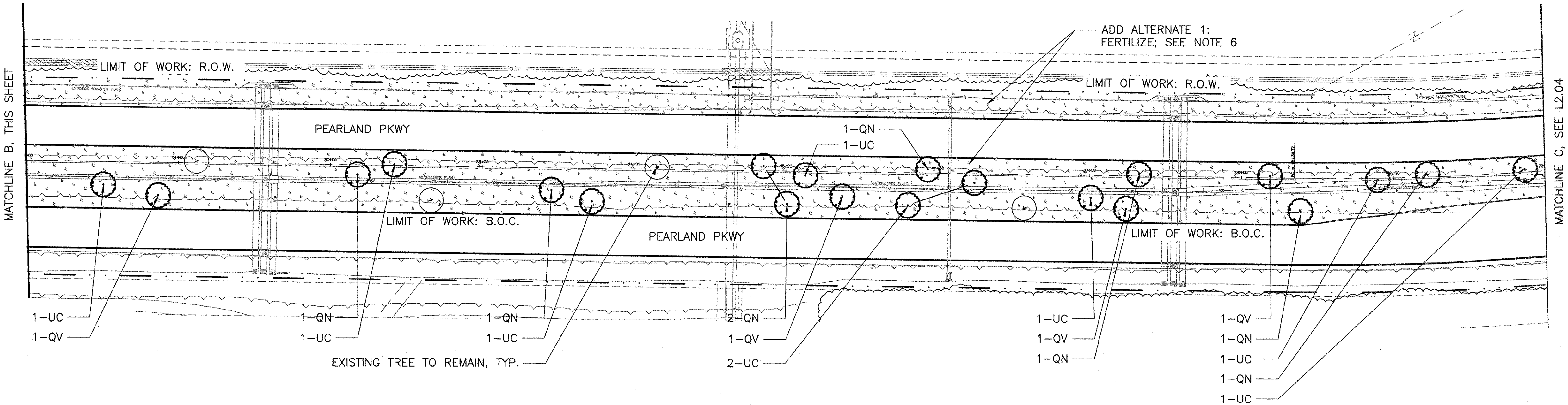
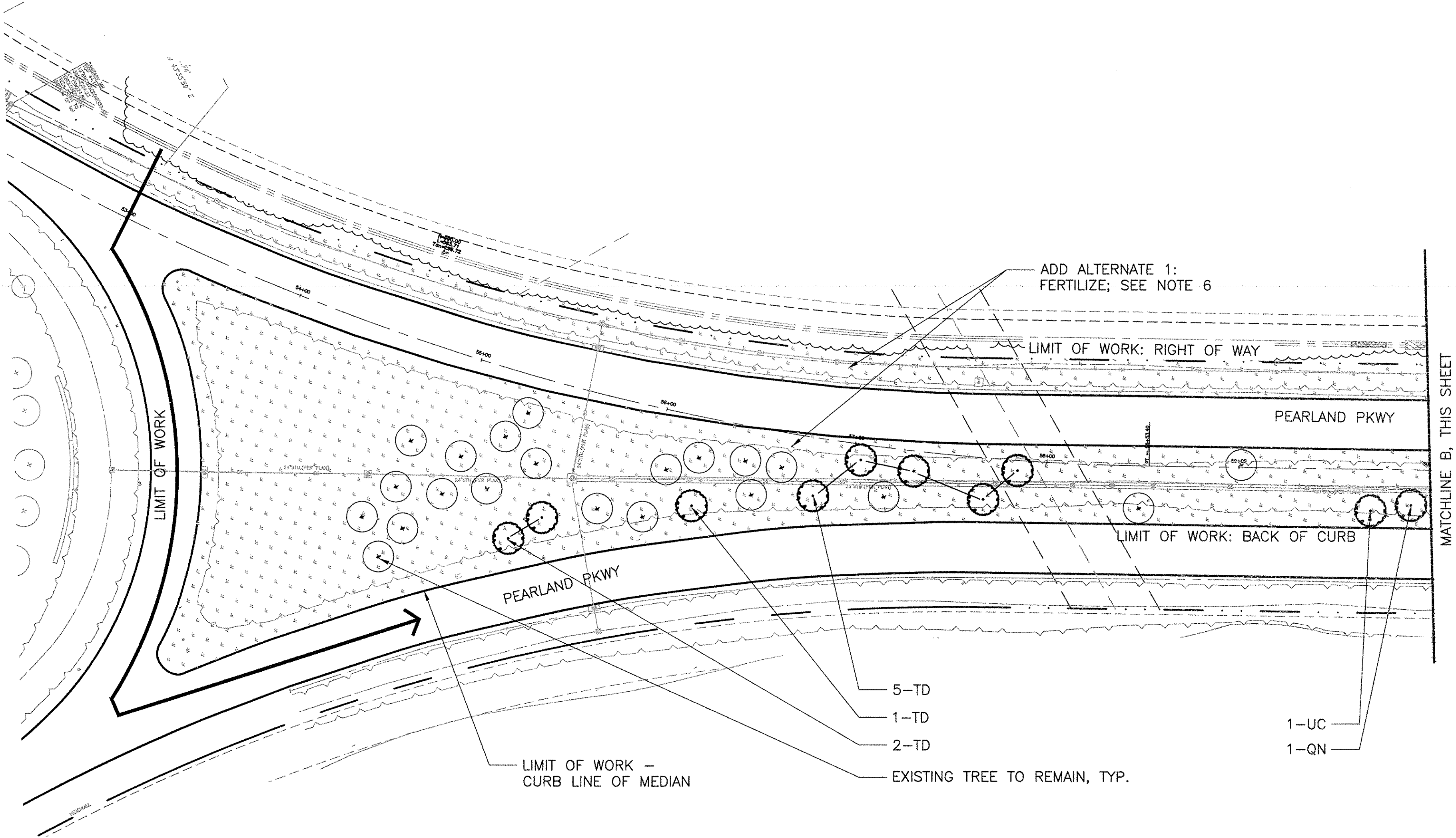




KEY	
SYM.	COMMON NAME
TREES	
QN	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
LI	CREPEMYRTLE
FP	GREEN ASH
QP	WILLOW OAK
TREES	
DI	BUTTERFLY IRIS
RK	KNOCKOUT ROSE
LM	LANTANA
TA	ASIAN JASMINE
	ROUGH GRADE, FERTILIZE, AND HYDROMULCH; SEE NOTE 4
	POWERWASH AND PAINT; SEE NOTE 5
	FERTILIZE; SEE NOTE 6

NOTES:

- ALL TREES SHALL BE A MINIMUM OF 8' OFF B.O.C.
- FINAL LOCATION OF SIGN SHALL BE DETERMINED ON SITE AND APPROVED BY OWNER'S REPRESENTATIVE. FIELD LOCATE ALL EXISTING UTILITY LINES PRIOR TO FINAL PLACEMENT OF SIGN.
- REPAIR TO ORIGINAL GRADE AND HYDROMULCH ALL AREAS DAMAGED BY CONSTRUCTION.
- ROUGH GRADE AREAS AS REQUIRED PER CIVIL DRAWINGS. HAND RAKE TO FINE GRADE. SPREAD FERTILIZER MICROLIFE 8-4-6 AND MICROLIFE HUMATES 0-0-4 AND HYDROMULCH AS PER SPECIFICATIONS.
- ALL EXISTING SIDEWALK AND BARRIER WALLS AND RAILS AT THE BRIDGE OVER CLEAR CREEK SHALL BE POWER WASHED. CONCRETE BARRIER AND RAILINGS ARE TO BE PAINTED AS PER THE MATERIAL SCHEDULE, RE: L2.06.
- ADD ALTERNATE 1: FERTILIZE ALL EXISTING LAWN AREAS WITHIN PROJECT LIMITS WITH MICROLIFE HUMATES 0-0-4 AT THE RATE OF 20 LBS/1,000 SF. RE: SPECIFICATIONS.



Pearland Landscape Maintenance - Pearland Parkway 05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

Pearland Pkwy & Dixie Farm Rd

Corridor Improvements

City of Pearland
Pearland, TX

CONSTRUCTION & PLANTING PLAN - PEARLAND PKWY

DRAWN: IMC
CHECKED: SSS
SCALE: 1" = 40'-0"
DATE: 10/14/15
CCA PROJECT NO: 114-052

Pearland Landscape
Maintenance -
Pearland Parkway
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

Pearland Pkwy & Dixie Farm Rd

Corridor Improvements

City of Pearland
Pearland, TX

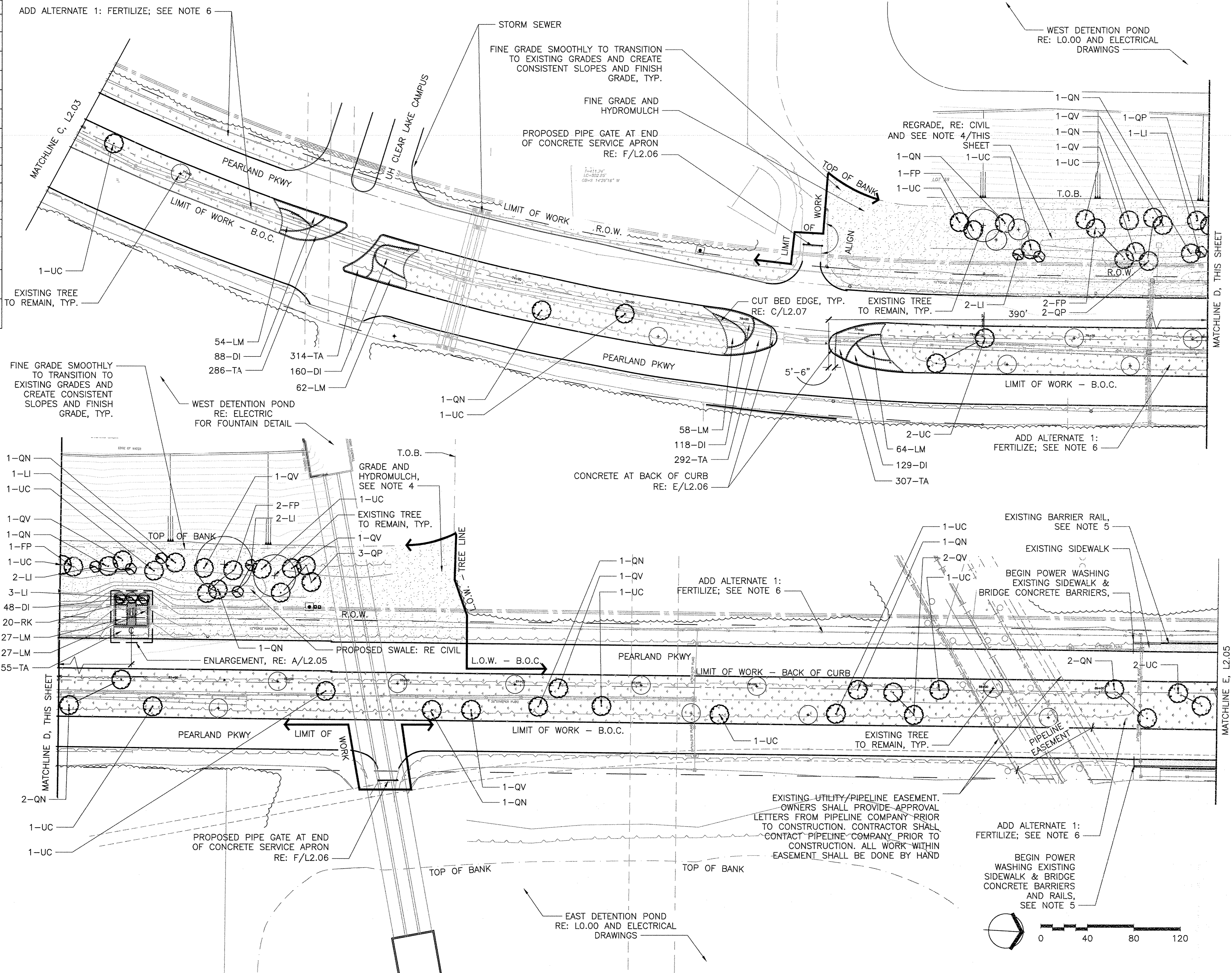
CONSTRUCTION & PLANTING
PLAN - PEARLAND PKWY

DRAWN: IMC
CHECKED: SSS
SCALE: AS NOTED
DATE: 10/14/15
CCA PROJECT NO: 114-052

KEY	
SYM.	COMMON NAME
TREES	
QN	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
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- ADD ALTERNATE 1: FERTILIZE ALL EXISTING LAWN AREAS WITHIN PROJECT LIMITS WITH MICROLIFE HUMATES 0-0-4 AT THE RATE OF 20 LBS/1,000 SF. RE: SPECIFICATIONS.



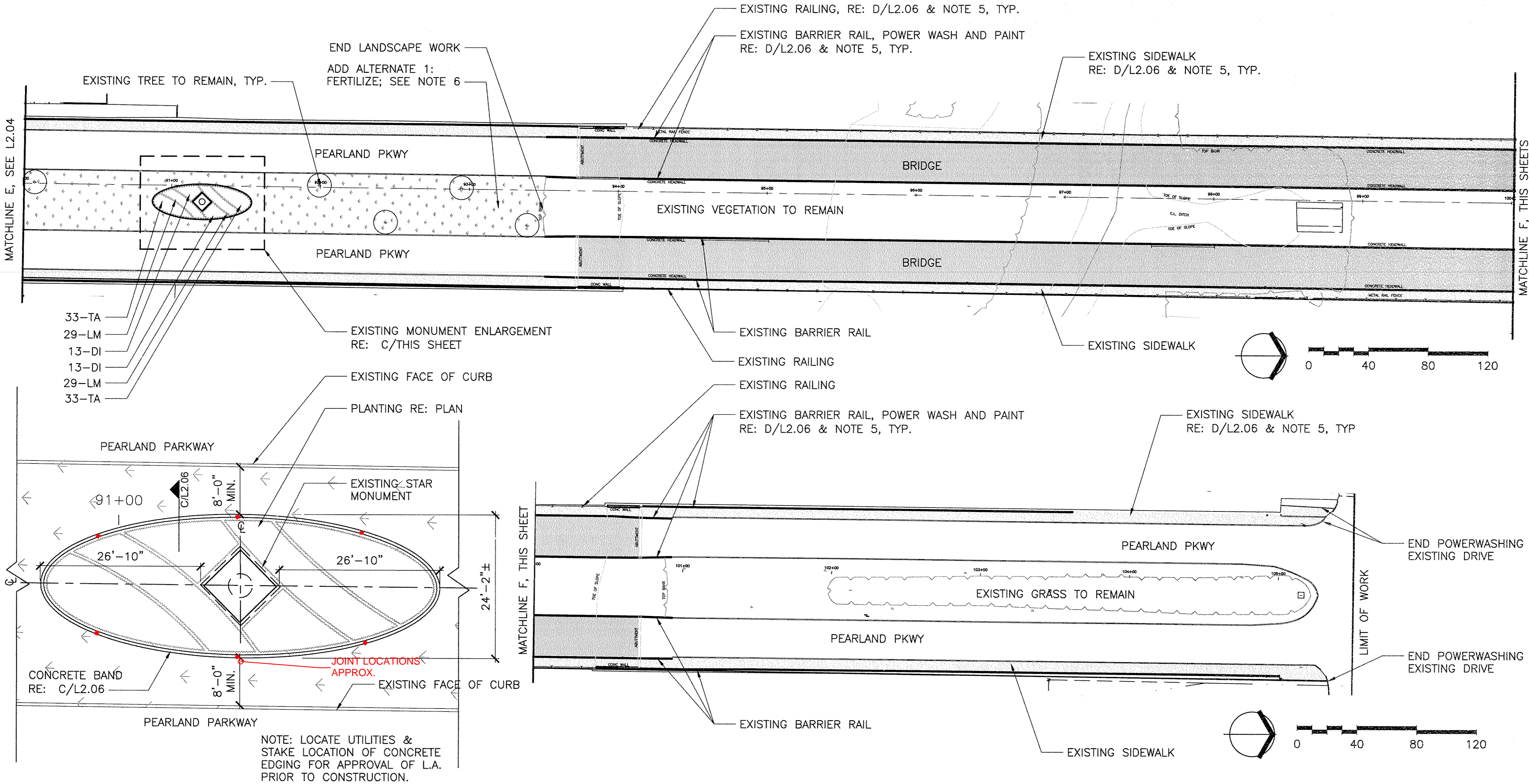
B1.5

j:\pearland dixie farm rd and pearland parkway 114-073\6 0-cd\6 2-cad\6 21-sheets\12.05 2/23/2016 7:28 PM

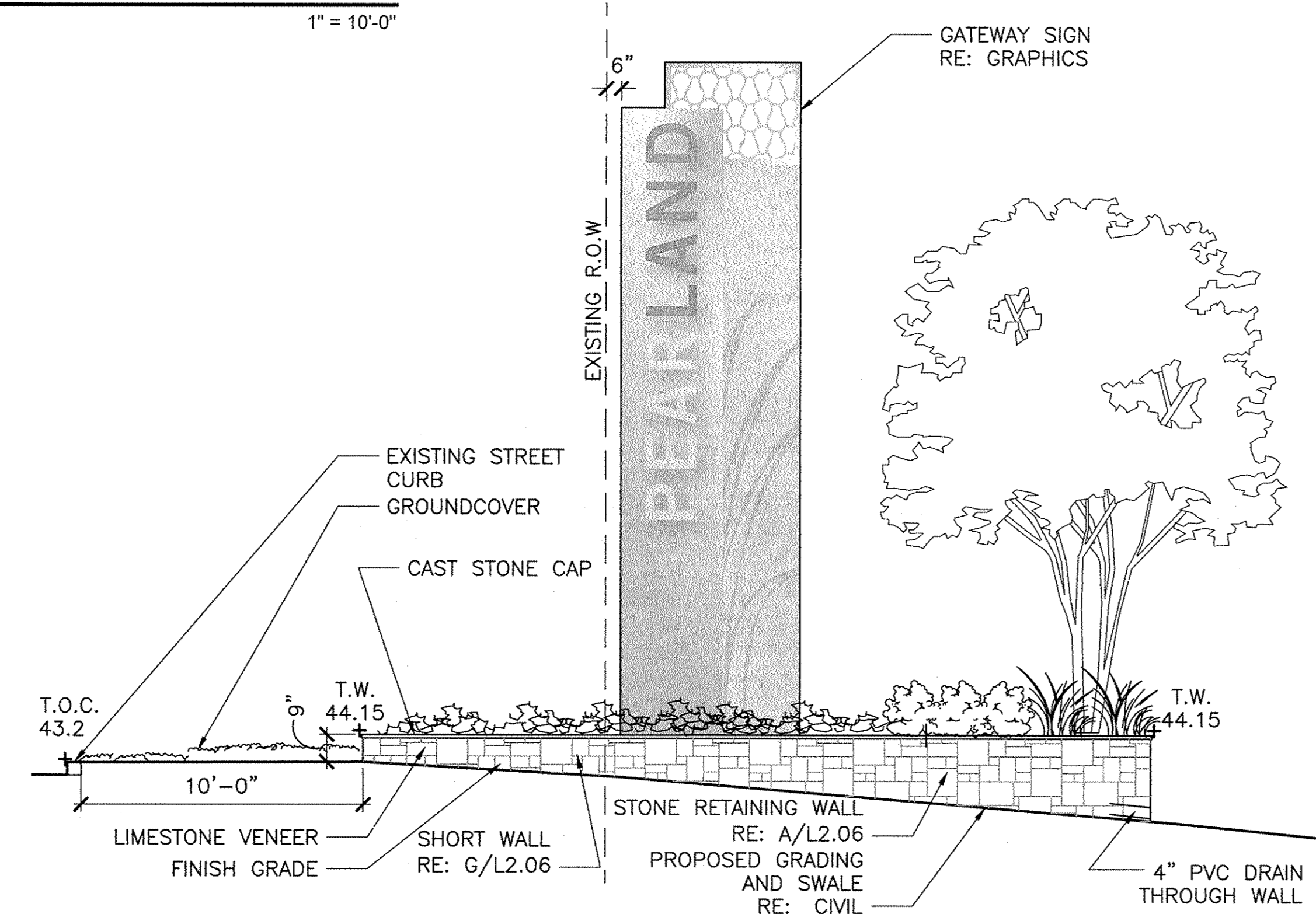
KEY	
SYM.	COMMON NAME
TREES	
QN	MEXICAN WHITE OAK
QV	LIVE OAK
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	ROUGH GRADE, FERTILIZE, AND HYDROMULCH; SEE NOTE 4
	POWERWASH AND PAINT; SEE NOTE 5
	FERTILIZE; SEE NOTE 6

NOTES:

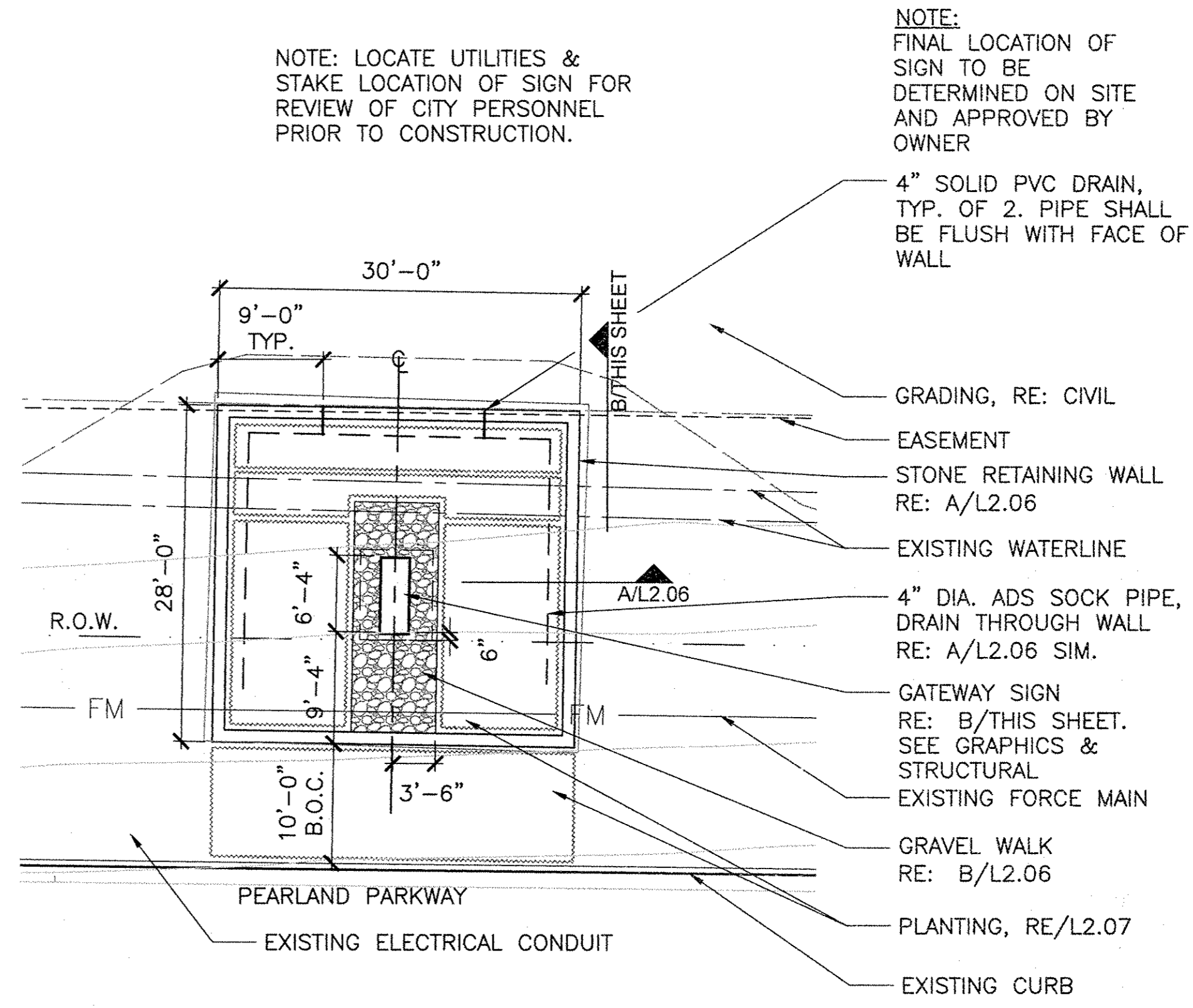
- ALL TREES SHALL BE A MINIMUM OF 8' OFF B.O.C.
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- ADD ALTERNATE 1: FERTILIZE ALL EXISTING LAWN AREAS WITHIN PROJECT LIMITS WITH MICROLIFE HUMATES 0-0-4 AT THE RATE OF 20 LBS/1,000 SF. RE: SPECIFICATIONS.



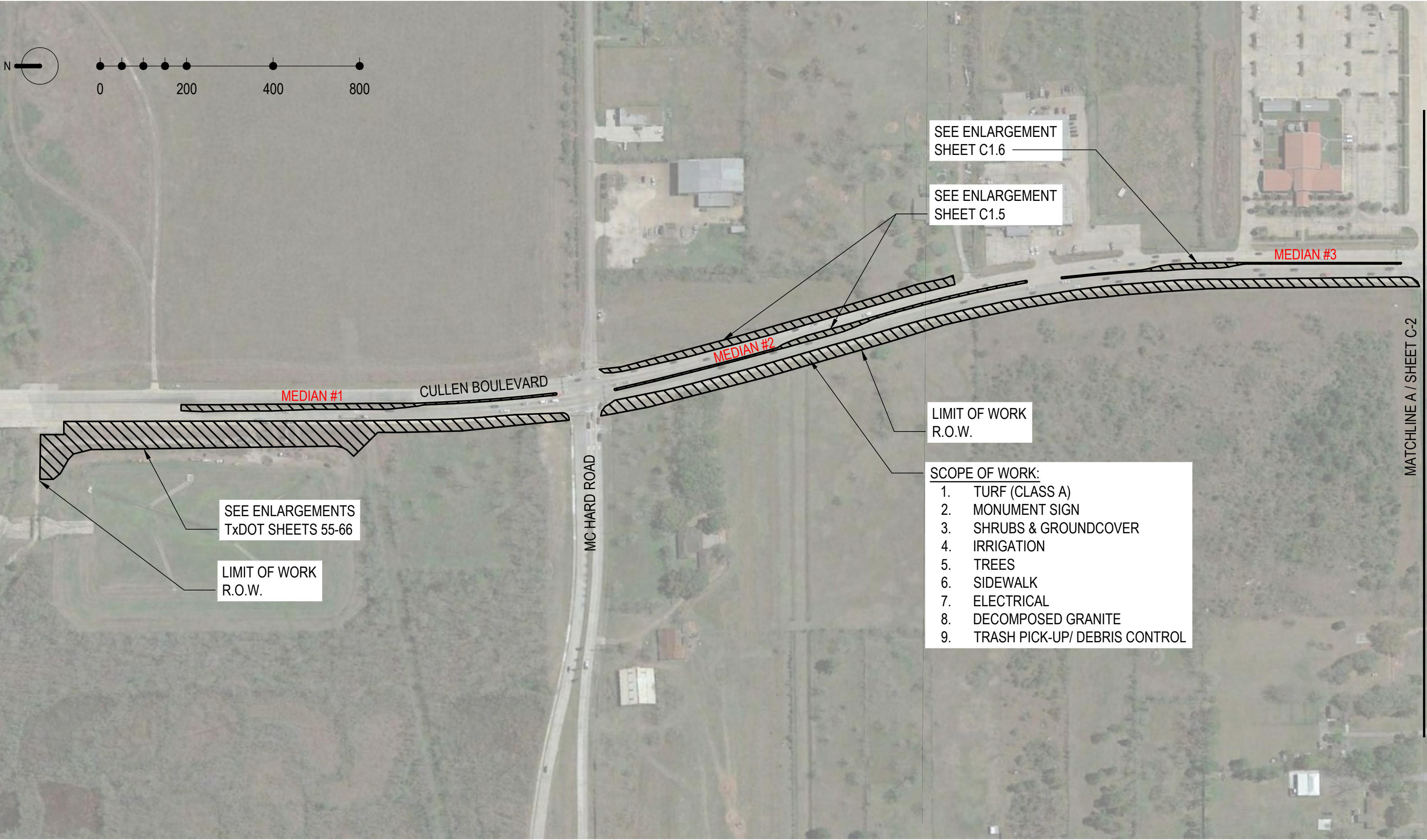
C EXISTING STAR MONUMENT PLAN 1" = 10'-0"

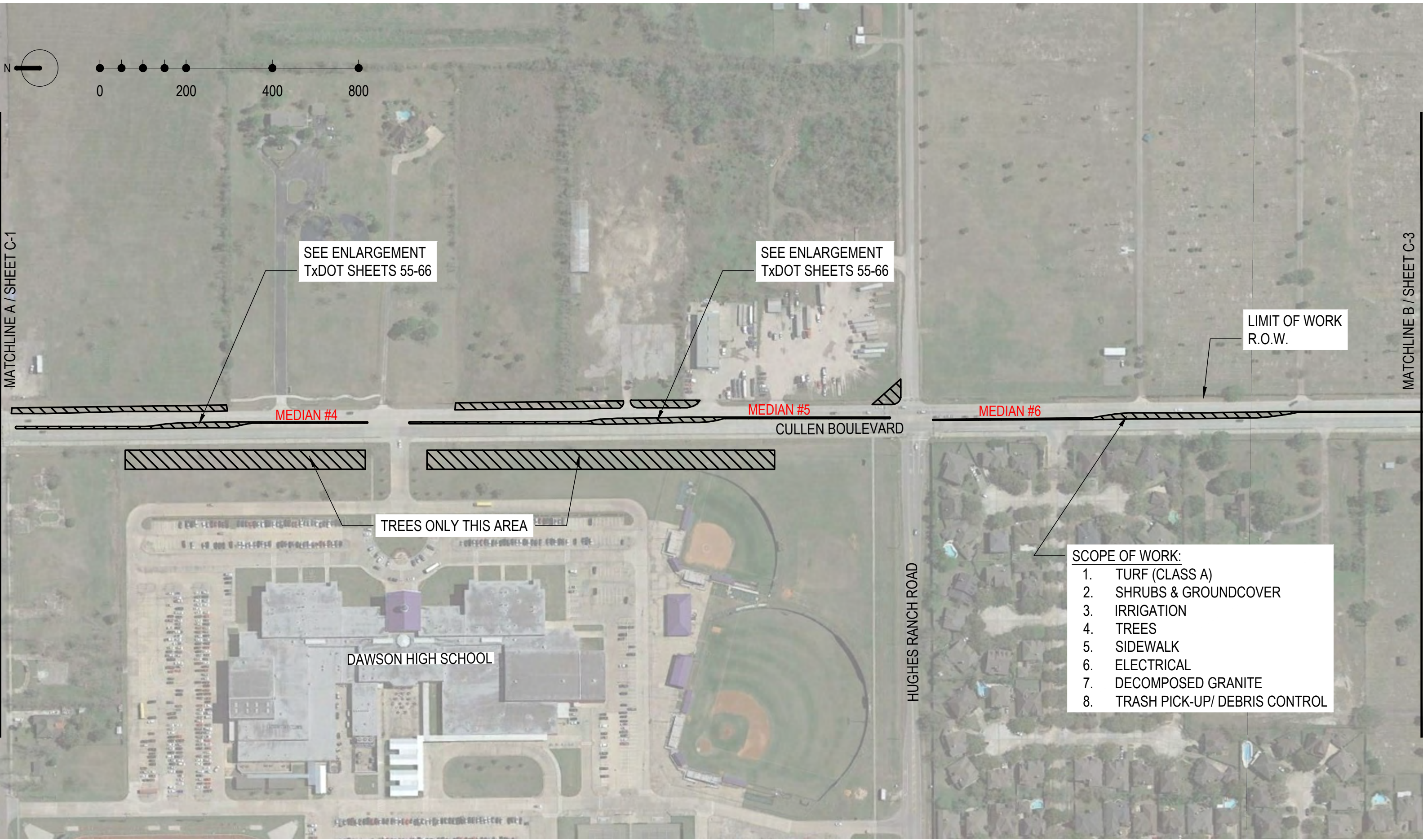


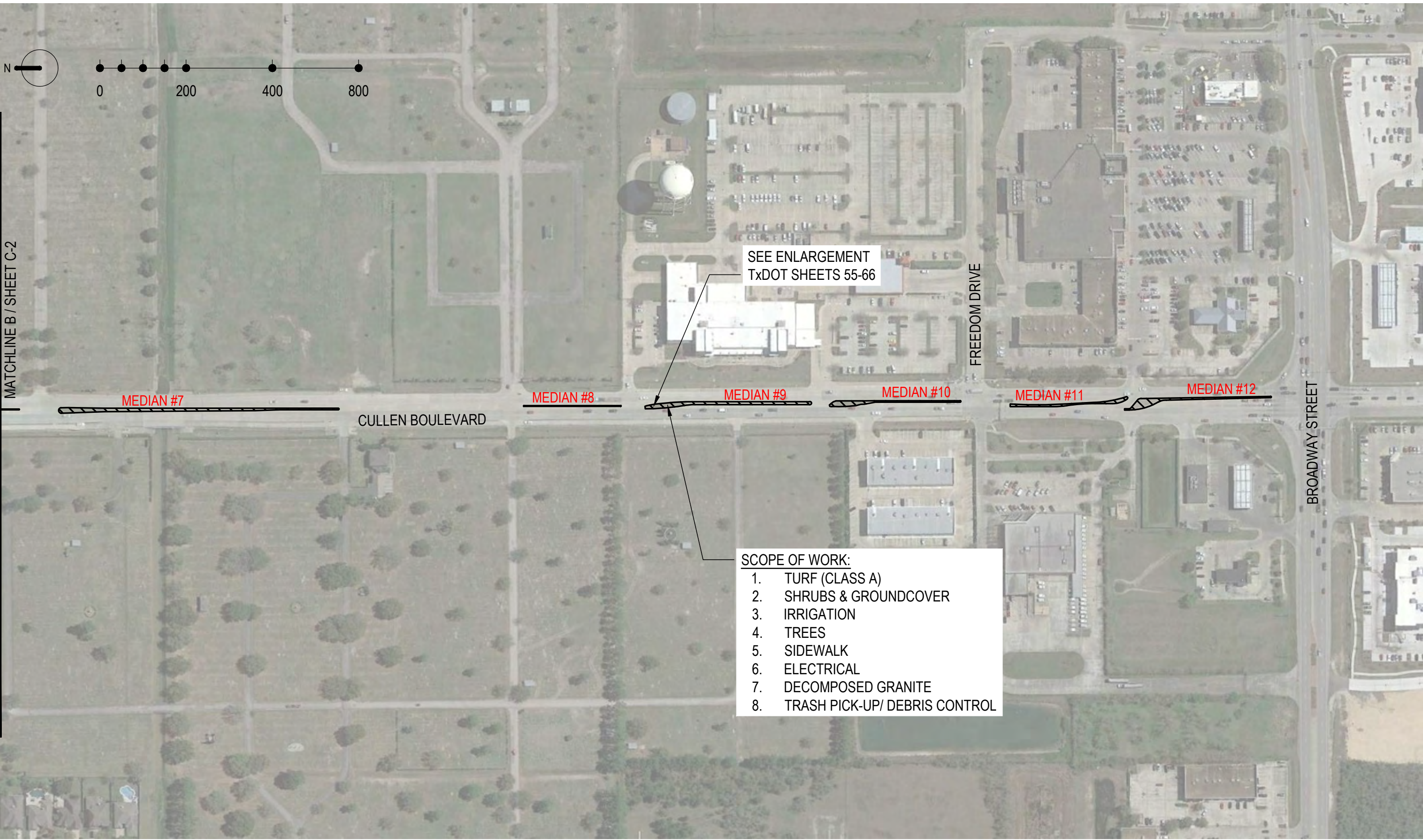
B GATEWAY SIGN - PEARLAND PARKWAY ELEVATION 1/4" = 1'-0"

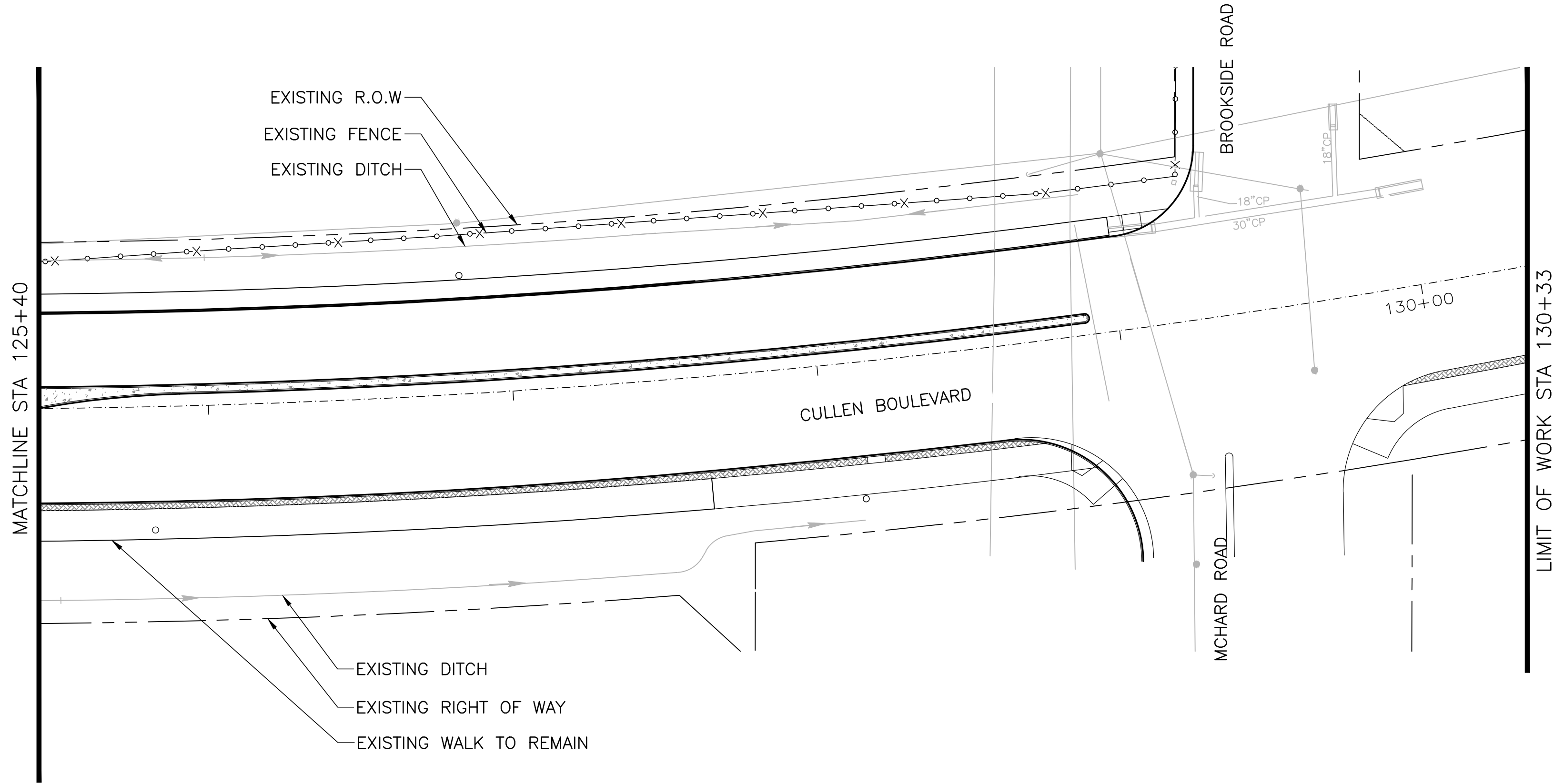
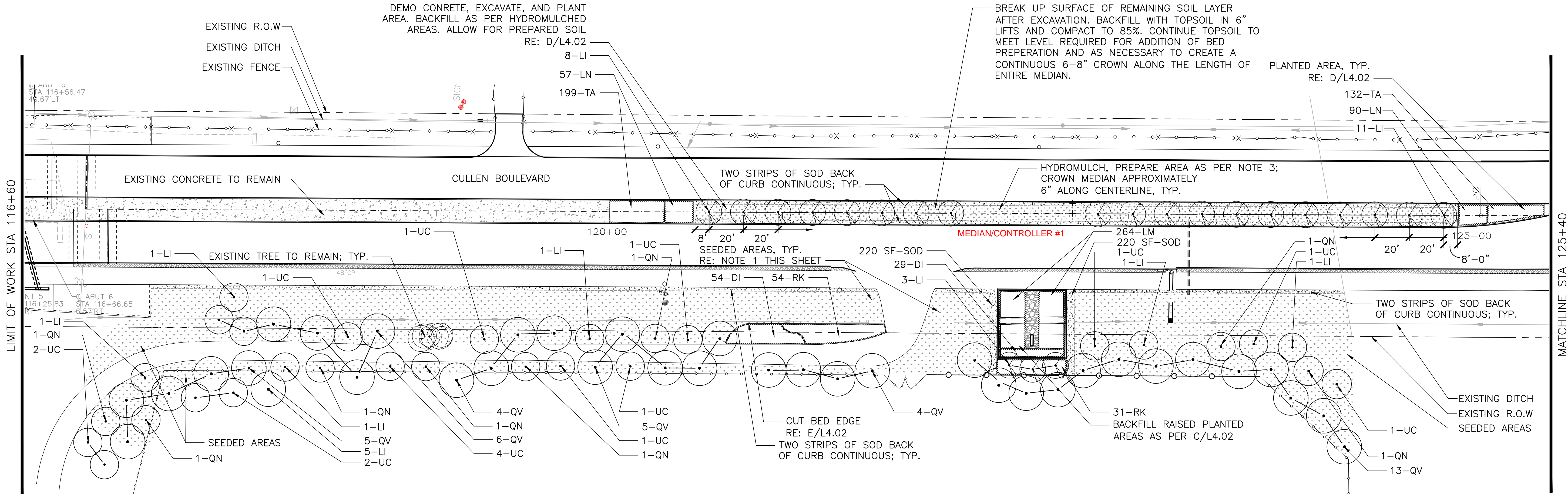


A GATEWAY SIGN - PEARLAND PARKWAY PLAN 1" = 10'-0"



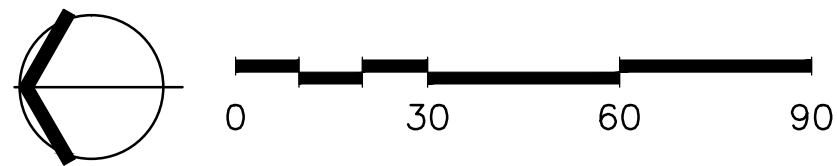






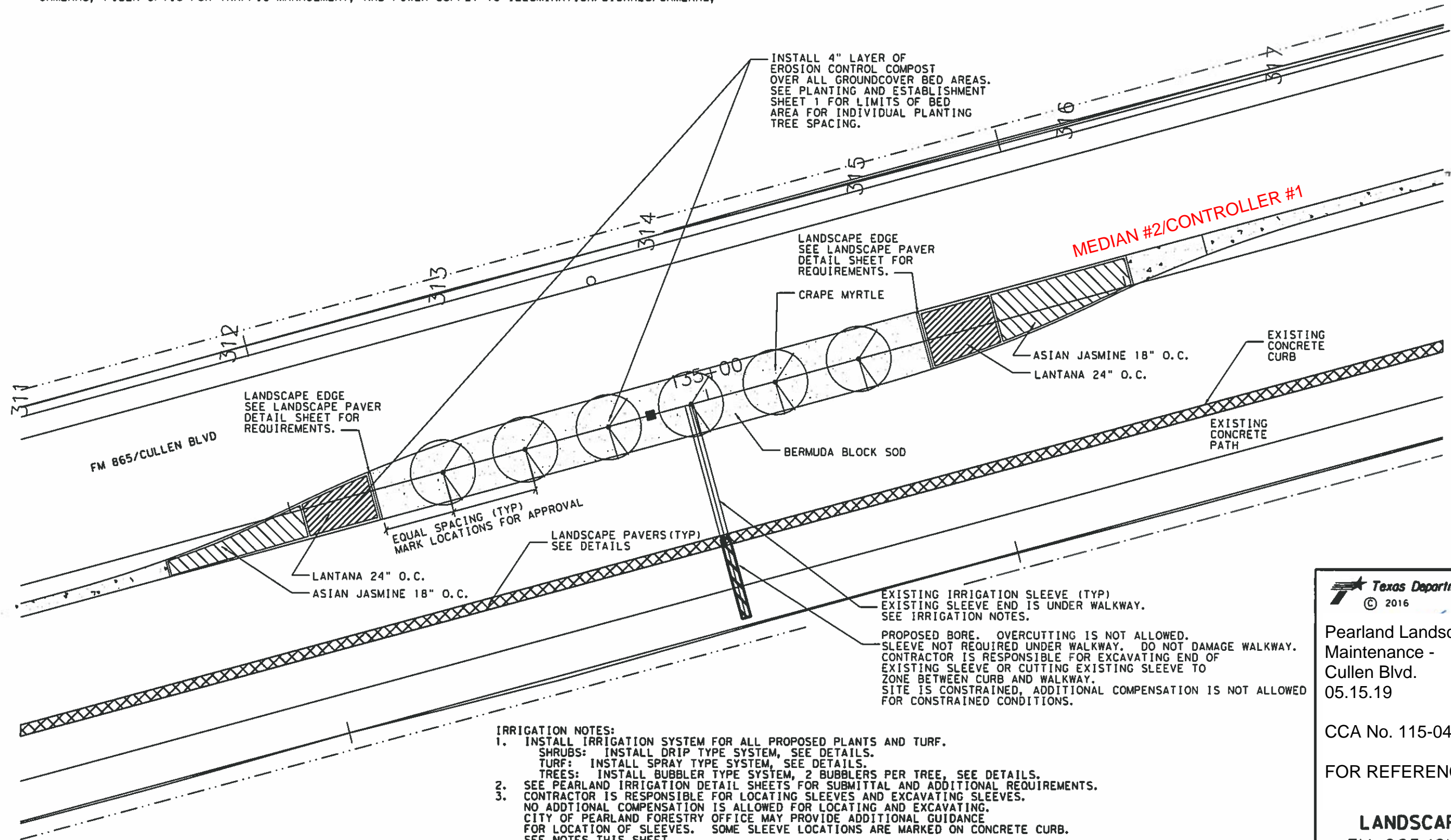
- NOTE:
1. SEEDED AREAS: SPOT TREAT WEEDS AND MOW EXISTING GRASS TO MAXIMUM 2" HEIGHT. MAKE ONE PASS OVER ENTIRE AREA TO BE SEEDED WITH AN AGRICULTURAL DISC; BREAK UP SOIL 2" TO 3" DEPTH. SPREAD FERTILIZERS (MICROLIFE ULTIMATE @ 20 LBS/1000 SF AND MICROLIFE HUMATES PLUS @ 10 LBS/1000 SF, TYPICAL) AND SOW SEEDS AS PER SPECIFICATION.
 2. FOR SODDED AREAS: STRIP SOIL TO DEPTH NEEDED TO MAKE TOP OF SOD LEVEL WITH SEEDED AREAS/EXISTING GRADE. PREPARE SOIL AS PER ADJACENT AREA (SOD VS. HYDROMULCH) AND FERTILIZE. LAY SOD AND ROLL AS PER SPECIFICATIONS.
 3. HYDROMULCH AREAS: SPREAD 3" COMPOSTED MULCH AND ROTOR TILL 6-8" DEPTH. GRADE TO REESTABLISH CROWN ALONG LENGTH OF MEDIAN. SPREAD FERTILIZERS AND HAND RAKE TO ACHIEVE FINISHED GRADE.
 4. SEE SPECIFICATIONS FOR DETAIL NOTES ON SOIL PREPARATION.

PLANTING KEY	
SYM.	COMMON NAME
TREES	
QV	LIVE OAK
QN	WATER OAK
UC	CEDAR ELM
LI	CRAPEMYRTLE
SHRUBS & GROUNDCOVER	
DI	BUTTERFLY IRIS
RK	KNOCKOUT ROSE
LM	PURPLE TRAILING LANTANA
TA	ASIAN JASMINE
	SOD
	OVERSEED
	HYDROMULCH



UTILITY NOTES:

1. CONTRACTOR IS REQUIRED TO CONTACT STATEWIDE ONE CALL PER STATE LAW.
2. CONTRACTOR IS REQUIRED TO CONTACT CITY OF PEARLAND AND TXDOT TO LOCATE CITY AND TXDOT UTILITIES ON THE ONE CALL SYSTEM. UTILITIES INCLUDE BUT ARE NOT LIMITED TO: STREET ILLUMINATION, SIGNALS, SANITARY SEWER, STORM SEWER, WATER, TRAFFIC MANAGEMENT CAMERAS, FIBER OPTIC FOR TRAFFIC MANAGEMENT, AND POWER SUPPLY TO ILLUMINATION/SIGNALS/CAMERAS,



IRRIGATION NOTES:

1. INSTALL IRRIGATION SYSTEM FOR ALL PROPOSED PLANTS AND TURF.
SHRUBS: INSTALL DRIP TYPE SYSTEM, SEE DETAILS.
TURF: INSTALL SPRAY TYPE SYSTEM, SEE DETAILS.
TREES: INSTALL BUBBLER TYPE SYSTEM, 2 BUBBLERS PER TREE, SEE DETAILS.
2. SEE PEARLAND IRRIGATION DETAIL SHEETS FOR SUBMITTAL AND ADDITIONAL REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING SLEEVES AND EXCAVATING SLEEVES. NO ADDITIONAL COMPENSATION IS ALLOWED FOR LOCATING AND EXCAVATING. CITY OF PEARLAND FORESTRY OFFICE MAY PROVIDE ADDITIONAL GUIDANCE FOR LOCATION OF SLEEVES. SOME SLEEVE LOCATIONS ARE MARKED ON CONCRETE CURB. SEE NOTES THIS SHEET.
4. MARK LOCATIONS OF ALL BOXES, MAINLINE, VALVES, METERS, BACKFLOW DEVICES, AND SYSTEM COMPONENTS FOR APPROVAL PRIOR TO INSTALLATION. CITY OF PEARLAND FORESTRY OFFICE MUST APPROVE ALL PROPOSED LOCATIONS PRIOR TO INSTALLATION.
5. INSTALL METERS AND BACKFLOW DEVICES IN LOCATIONS PER CITY OF PEARLAND REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH CITY OF PEARLAND FOR ALL INSTALLATION PERMITS AND INSPECTIONS.

PLANTING NOTES:

1. SEE PLANTING AND ESTABLISHMENT DETAILS FOR PLANT SPECIFICATIONS AND PLANTING REQUIREMENTS.
2. MARK ALL PROPOSED BED AREAS FOR APPROVAL PRIOR TO WORK.
3. IRRIGATION SYSTEM MUST BE FUNCTIONING PRIOR TO DELIVERY OF PLANT MATERIAL.
4. SEE PLANTING AND ESTABLISHMENT SHEETS FOR MAINTENANCE AND ESTABLISHMENT REQUIREMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH CITY OF PEARLAND FOR ALL INSTALLATION PERMITS AND INSPECTIONS.



Pearland Landscape
Maintenance -
Cullen Blvd.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

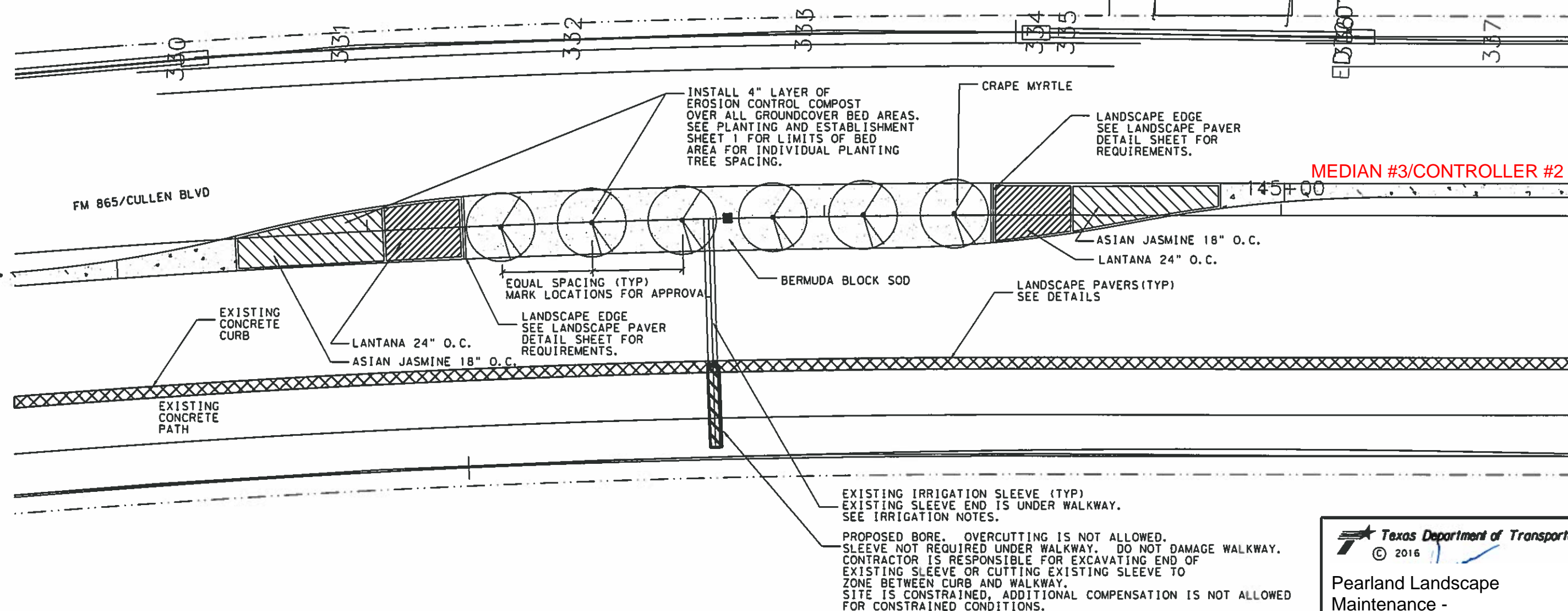
LANDSCAPE LAYOUT
FM 865/CULLEN BLVD
PEARLAND
CSJ: 0912-31-266

SHEET 1 OF 12

FED. RD. DIV. NO.	PROJECT NO.	SHEET NO.
		C1.5
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME	CONT.	SECT.
	0912	31
JOB	HIGHWAY NO.	
301, etc	FM 2004, etc	

NOT TO SCALE

- UTILITY NOTES:
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- IRRIGATION NOTES:
1. INSTALL IRRIGATION SYSTEM FOR ALL PROPOSED PLANTS AND TURF.
SHRUBS: INSTALL DRIP TYPE SYSTEM, SEE DETAILS.
TURF: INSTALL SPRAY TYPE SYSTEM, SEE DETAILS.
TREES: INSTALL BUBBLER TYPE SYSTEM, 2 BUBBLERS PER TREE, SEE DETAILS.
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LANDSCAPE LAYOUT
FM 865/CULLEN BLVD
PEARLAND
CSJ: 0912-31-266

SHEET 2 OF 12

FED. RD. DIST. NO.	PROJECT NO.	SHEET NO.
		C1.6
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
	JOB	HIGHWAY NO.
	301, etc	FM 2004, etc

NOT TO SCALE

FM 865/CULLEN BLVD

INSTALL 4" LAYER OF
EROSION CONTROL COMPOST
OVER ALL GROUNDCOVER BED AREAS.
SEE PLANTING AND ESTABLISHMENT
SHEET 1 FOR LIMITS OF BED
AREA FOR INDIVIDUAL PLANTING
TREE SPACING.

LANDSCAPE EDGE
SEE LANDSCAPE PAVER
DETAIL SHEET FOR
REQUIREMENTS.

MEDIAN #4/CONTROLLER #3

155+00

EQUAL SPACING (TYP)
MARK LOCATIONS FOR APPROVAL

LANDSCAPE EDGE
SEE LANDSCAPE PAVER
DETAIL SHEET FOR
REQUIREMENTS.

LANTANA 24" O.C.

ASIAN JASMINE 18" O.C.

BERMUDA BLOCK SOD

LANDSCAPE PAVERS (TYP)
SEE DETAILS

ASIAN JASMINE 18" O.C.

LANTANA 24" O.C.

EXISTING
CONCRETE
CURB

EXISTING
CONCRETE
PATH

PROPOSED TREES AT HIGH SCHOOL AREA
MARK LOCATIONS FOR APPROVAL PRIOR TO WORK.
SEE LEGEND FOR SPECIES.

EXISTING IRRIGATION SLEEVE (TYP)
EXISTING SLEEVE END IS UNDER WALKWAY.
SEE IRRIGATION NOTES.

PROPOSED BORE. OVERCUTTING IS NOT ALLOWED.
SLEEVE NOT REQUIRED UNDER WALKWAY. DO NOT DAMAGE WALKWAY.
CONTRACTOR IS RESPONSIBLE FOR EXCAVATING END OF
EXISTING SLEEVE OR CUTTING EXISTING SLEEVE TO
ZONE BETWEEN CURB AND WALKWAY.
SITE IS CONSTRAINED, ADDITIONAL COMPENSATION IS NOT ALLOWED
FOR CONSTRAINED CONDITIONS.

TREE TYPES AT HIGH SCHOOL

L	HIGH RISE LIVE OAK
W	WHITE OAK
E	CEDAR ELM

ADDITIONAL IRRIGATION NOTES FOR THIS SHEET:

- FOR ALL TREES LOCATED WEST OF THE CONCRETE WALKWAY, INSTALL IRRIGATION PER NOTES AND PEARLAND DETAILS.
- ALL TREES IN THIS AREA LOCATED NORTH OF DRIVEWAY MUST BE ON SEPARATE CONTROL VALVE.
- FOR ALL TREES IN THIS AREA, CONNECT TO EXISTING SCHOOL IRRIGATION SYSTEM. CONTRACTOR IS RESPONSIBLE FOR LOCATING, AND CONNECTING TO EXISTING IRRIGATION SYSTEM MAINLINE AT SCHOOL.

IRRIGATION NOTES:

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SHRUBS: INSTALL DRIP TYPE SYSTEM, SEE DETAILS.
TURF: INSTALL SPRAY TYPE SYSTEM, SEE DETAILS.
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CAMERAS, FIBER OPTIC FOR TRAFFIC MANAGEMENT, AND POWER SUPPLY TO ILLUMINATION/SIGNALS/CAMERAS,

PLANTING NOTES:

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Pearland Landscape
Maintenance -
Cullen Blvd.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

LANDSCAPE LAYOUT
FM 865/CULLEN BLVD
PEARLAND
CSJ: 0912-31-266

SHEET 3 OF 12

FILE NO.	PROJECT NO.	SHEET NO.
010.00		C1.7
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
0912	31	301, etc
	JOB	HIGHWAY NO.
		FM 2004, etc

NOT TO SCALE

FM 865/CULLEN BLVD

MEDIAN #4

MEDIAN #5

INSTALL 4" LAYER OF
EROSION CONTROL COMPOST
OVER ALL GROUND COVER BED AREAS.
SEE PLANTING AND ESTABLISHMENT
SHEET 1 FOR LIMITS OF BED
AREA FOR INDIVIDUAL PLANTING
TREE SPACING.

EXISTING
CONCRETE
CURB

LANDSCAPE PAVERS (TYP)
SEE DETAILS

LANDSCAPE PAVERS (TYP)
SEE DETAILS

EXISTING
CONCRETE
PATH

PROPOSED TREES AT HIGH SCHOOL AREA
MARK LOCATIONS FOR APPROVAL PRIOR TO WORK.
SEE LEGEND FOR SPECIES.

DRIVEWAY

ADDITIONAL IRRIGATION NOTES FOR THIS SHEET:
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C. FOR ALL TREES IN THIS AREA, CONNECT TO EXISTING SCHOOL IRRIGATION SYSTEM. CONTRACTOR IS RESPONSIBLE FOR LOCATING, AND CONNECTING TO EXISTING IRRIGATION SYSTEM MAINLINE AT SCHOOL.

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TURF: INSTALL SPRAY TYPE SYSTEM, SEE DETAILS.
TREES: INSTALL BUBBLER TYPE SYSTEM, 2 BUBBLERS PER TREE, SEE DETAILS.
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TREE TYPES AT HIGH SCHOOL

L	HIGH RISE LIVE OAK
W	WHITE OAK
E	CEDAR ELM



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Maintenance -
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LANDSCAPE LAYOUT

FM 865/CULLEN BLVD
PEARLAND

CSJ: 0912-31-266

SHEET 4 OF 12

FED. RD. DIV. NO.	PROJECT NO.			SHEET NO.
				C1.8
STATE	DISTRICT	COUNTY		
TEXAS	HOUSTON	BRAZORIA		
	CONT.	SECT.	JOB	HIGHWAY NO.
FILE NAME:	0912	31	301, etc	FM 2004, etc

NOT TO SCALE

MATCHLINE PREVIOUS SHEET

MATCHLINE NEXT SHEET

FM 865/CULLEN BLVD

160+00

MEDIAN #5

INSTALL 4" LAYER OF
EROSION CONTROL COMPOST
OVER ALL GROUNDCOVER BED AREAS.
SEE PLANTING AND ESTABLISHMENT
SHEET 1 FOR LIMITS OF BED
AREA FOR INDIVIDUAL PLANTING
TREE SPACING.

LANDSCAPE PAVERS (TYP)
SEE DETAILS

EXISTING
CONCRETE
CURB

EXISTING
CONCRETE
PATH

PROPOSED TREES AT HIGH SCHOOL AREA
MARK LOCATIONS FOR APPROVAL PRIOR TO WORK.
SEE LEGEND FOR SPECIES.

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TREE TYPES AT HIGH SCHOOL

L	HIGH RISE LIVE OAK
W	WHITE OAK
E	CEDAR ELM



Pearland Landscape
Maintenance -
Cullen Blvd.
05.15.19

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LANDSCAPE LAYOUT

FM 865/CULLEN BLVD
PEARLAND

CSJ: 0912-31-266

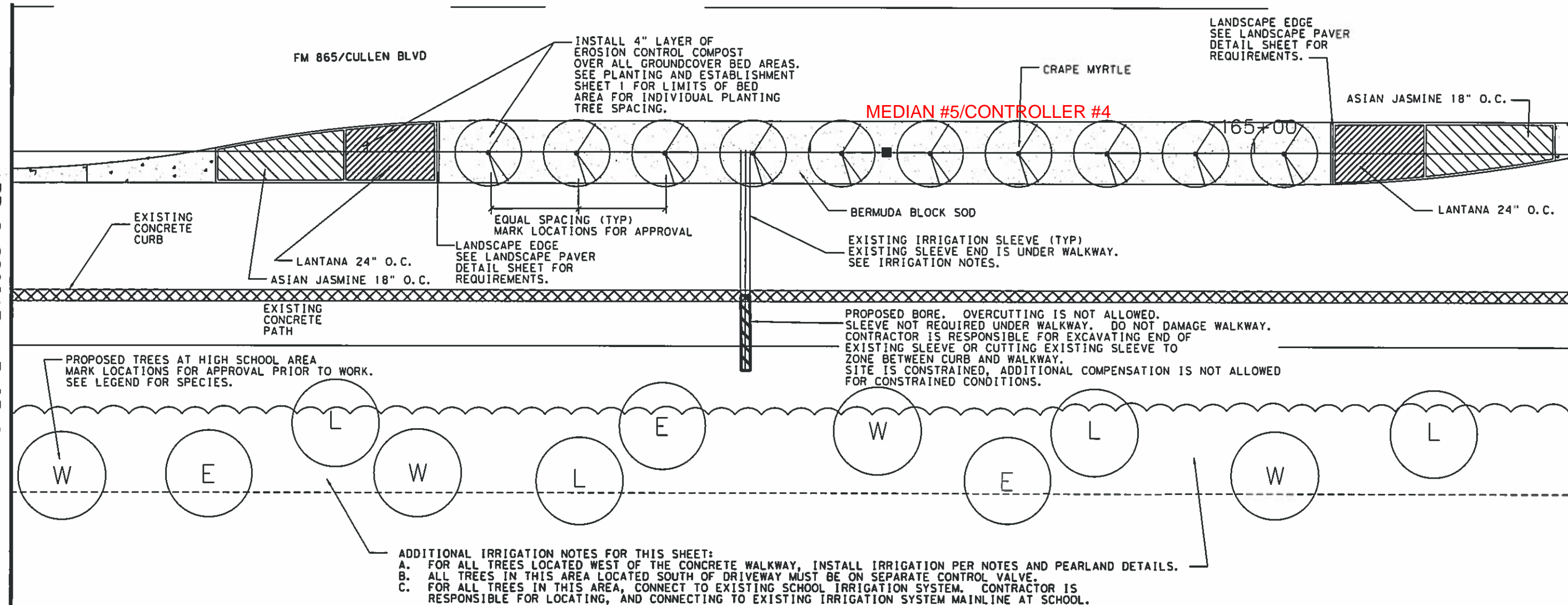
SHEET 5 OF 12

FILE NO. DIV. NO.	PROJECT NO.	SHEET NO.
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
	JOB	HIGHWAY NO.
	301, etc	FM 2004, etc

NOT TO SCALE

MATCHLINE PREVIOUS SHEET

MATCHLINE NEXT SHEET



- ADDITIONAL IRRIGATION NOTES FOR THIS SHEET:
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TREE TYPES AT HIGH SCHOOL	
L	HIGH RISE LIVE OAK
W	WHITE OAK
E	CEDAR ELM



Pearland Landscape
Maintenance -
Cullen Blvd.
05.15.19

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LANDSCAPE LAYOUT

FM 865/CULLEN BLVD
PEARLAND

CSJ: 0912-31-266

SHEET 6 OF 12

FED. RD. DIV. NO.	PROJECT NO.	SHEET NO.
		C1.10
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
	JOB	HIGHWAY NO.
	301, etc	FM 2004, etc

NOT TO SCALE

FM 865/CULLEN BLVD

MEDIAN #5

MATCHLINE PREVIOUS SHEET

INSTALL 4" LAYER OF
EROSION CONTROL COMPOST
OVER ALL GROUNDCOVER BED AREAS.
SEE PLANTING AND ESTABLISHMENT
SHEET 1 FOR LIMITS OF BED
AREA FOR INDIVIDUAL PLANTING
TREE SPACING.

LANDSCAPE PAVERS (TYP)
SEE DETAILS

EXISTING
CONCRETE
CURB

EXISTING
CONCRETE
PATH

PROPOSED TREES AT HIGH SCHOOL AREA
MARK LOCATIONS FOR APPROVAL PRIOR TO WORK.
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TREE TYPES AT HIGH SCHOOL

L	HIGH RISE LIVE OAK
W	WHITE OAK
E	CEDAR ELM



Pearland Landscape
Maintenance -
Cullen Blvd.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

LANDSCAPE LAYOUT

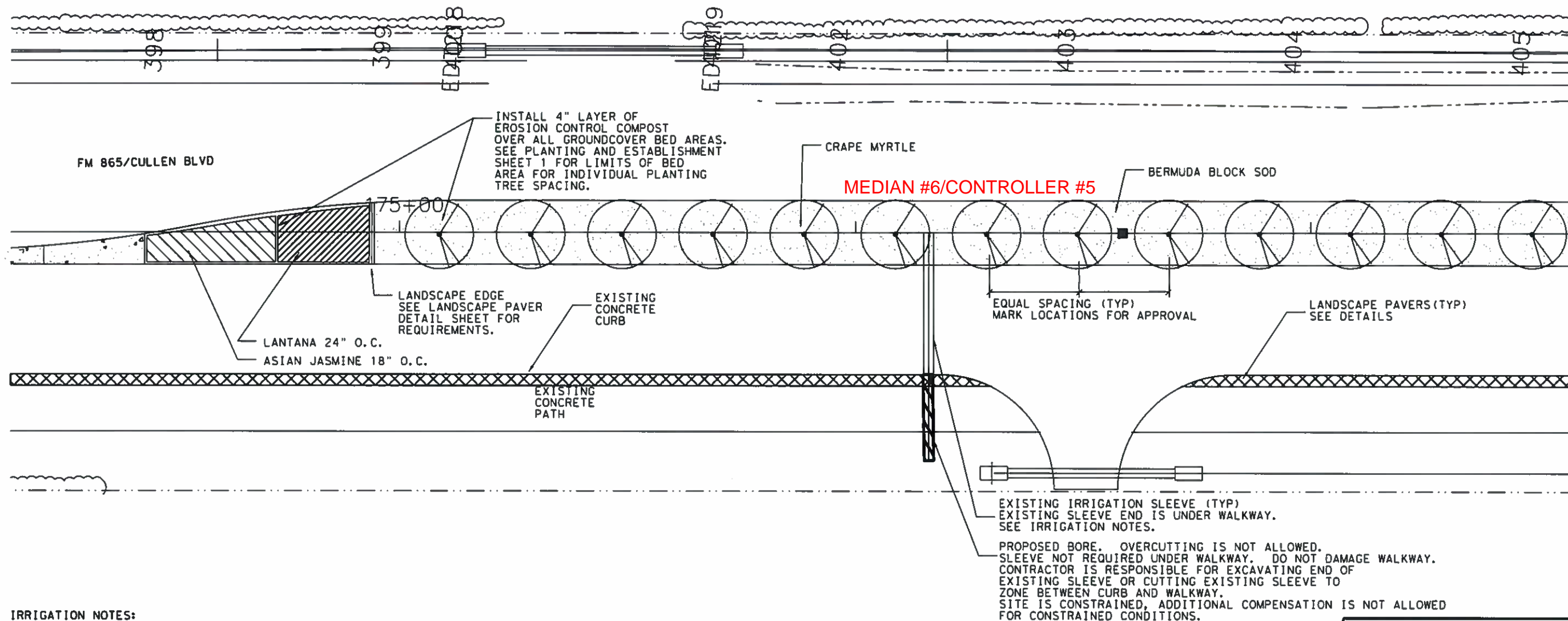
FM 865/CULLEN BLVD
PEARLAND

CSJ: 0912-31-266

SHEET 7 OF 12

FED. RD. DIV. NO.	PROJECT NO.	SHEET NO.
		C1.11
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
	JOB	HIGHWAY NO.
	301, etc	FM 2004, etc

NOT TO SCALE



IRRIGATION NOTES:

1. INSTALL IRRIGATION SYSTEM FOR ALL PROPOSED PLANTS AND TURF.
SHRUBS: INSTALL DRIP TYPE SYSTEM, SEE DETAILS.
TURF: INSTALL SPRAY TYPE SYSTEM, SEE DETAILS.
TREES: INSTALL BUBBLER TYPE SYSTEM, 2 BUBBLERS PER TREE, SEE DETAILS.
2. SEE PEARLAND IRRIGATION DETAIL SHEETS FOR SUBMITTAL AND ADDITIONAL REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING SLEEVES AND EXCAVATING SLEEVES.
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PLANTING NOTES:

1. SEE PLANTING AND ESTABLISHMENT DETAILS FOR PLANT SPECIFICATIONS AND PLANTING REQUIREMENTS.
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NOT TO SCALE



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Maintenance -
Cullen Blvd.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

LANDSCAPE LAYOUT

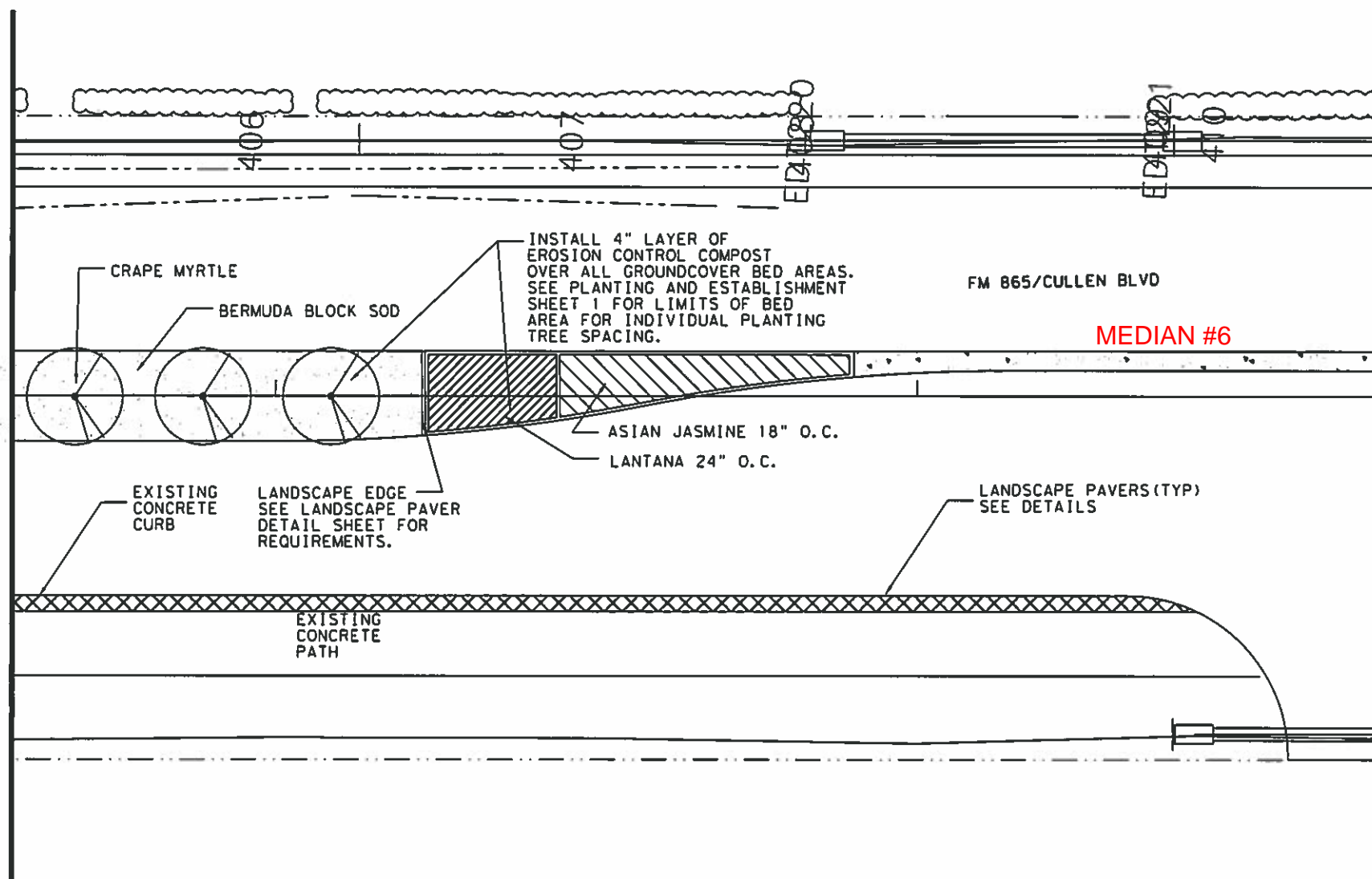
FM 865/CULLEN BLVD
PEARLAND

CSJ: 0912-31-266

SHEET 8 OF 12

FED. RD. DIST. NO.	PROJECT NO.	SHEET NO.
		C1.12
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
CONT.	SECT.	JOB
0912	31	301, etc
FILE NAME:	FILE NO.	FILE DATE
		FM 2004, etc

MATCHLINE PREVIOUS SHEET



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05.15.19

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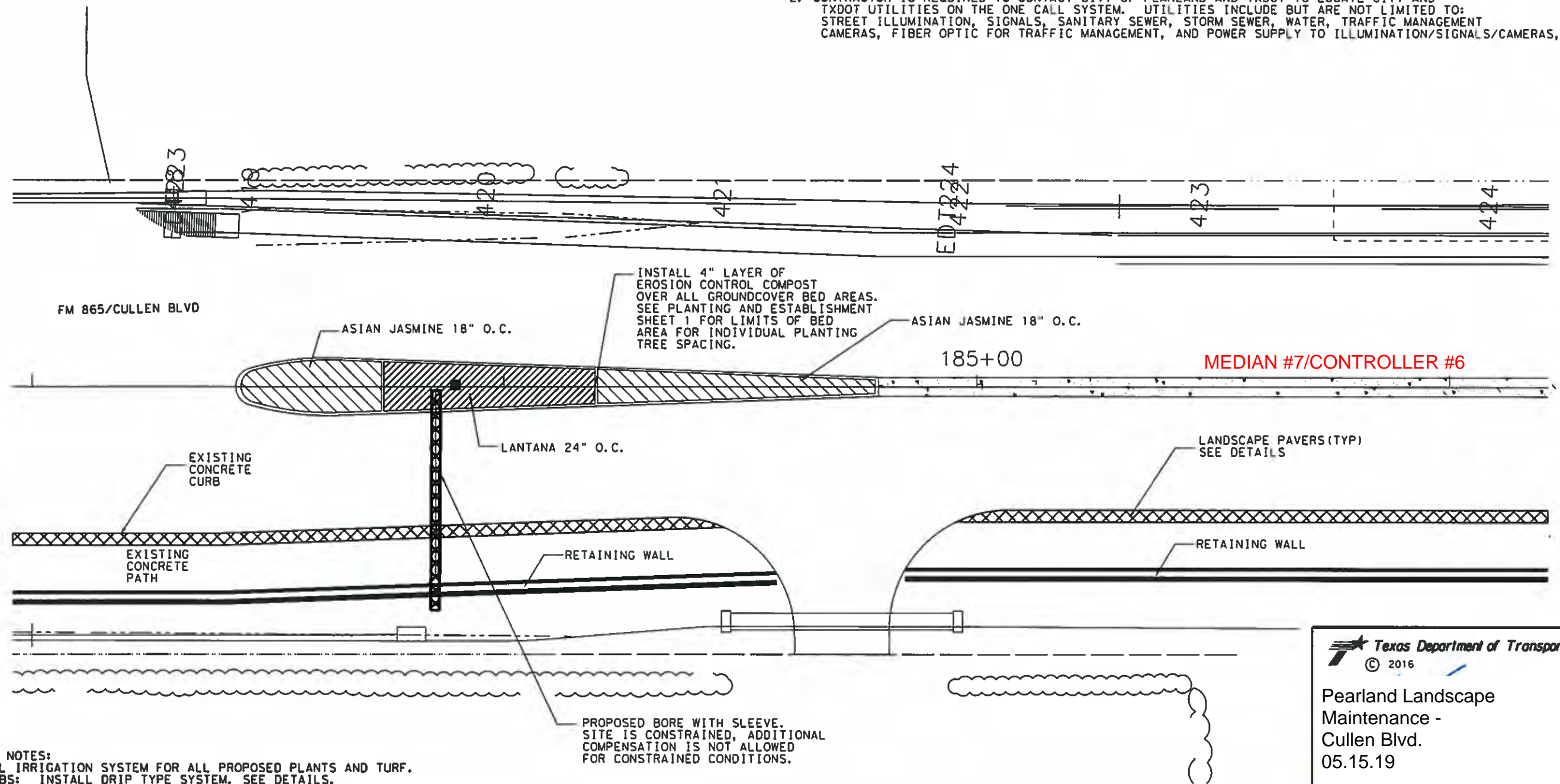
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LANDSCAPE LAYOUT
FM 865/CULLEN BLVD
PEARLAND
CSJ: 0912-31-266

SHEET 9 OF 12

FED. RD. DIV. NO.	PROJECT NO.	SHEET NO.
		C1.13
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
JOB	HIGHWAY NO.	
301, etc	FM 2004, etc	

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05.15.19

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PEARLAND

CSJ: 0912-31-266

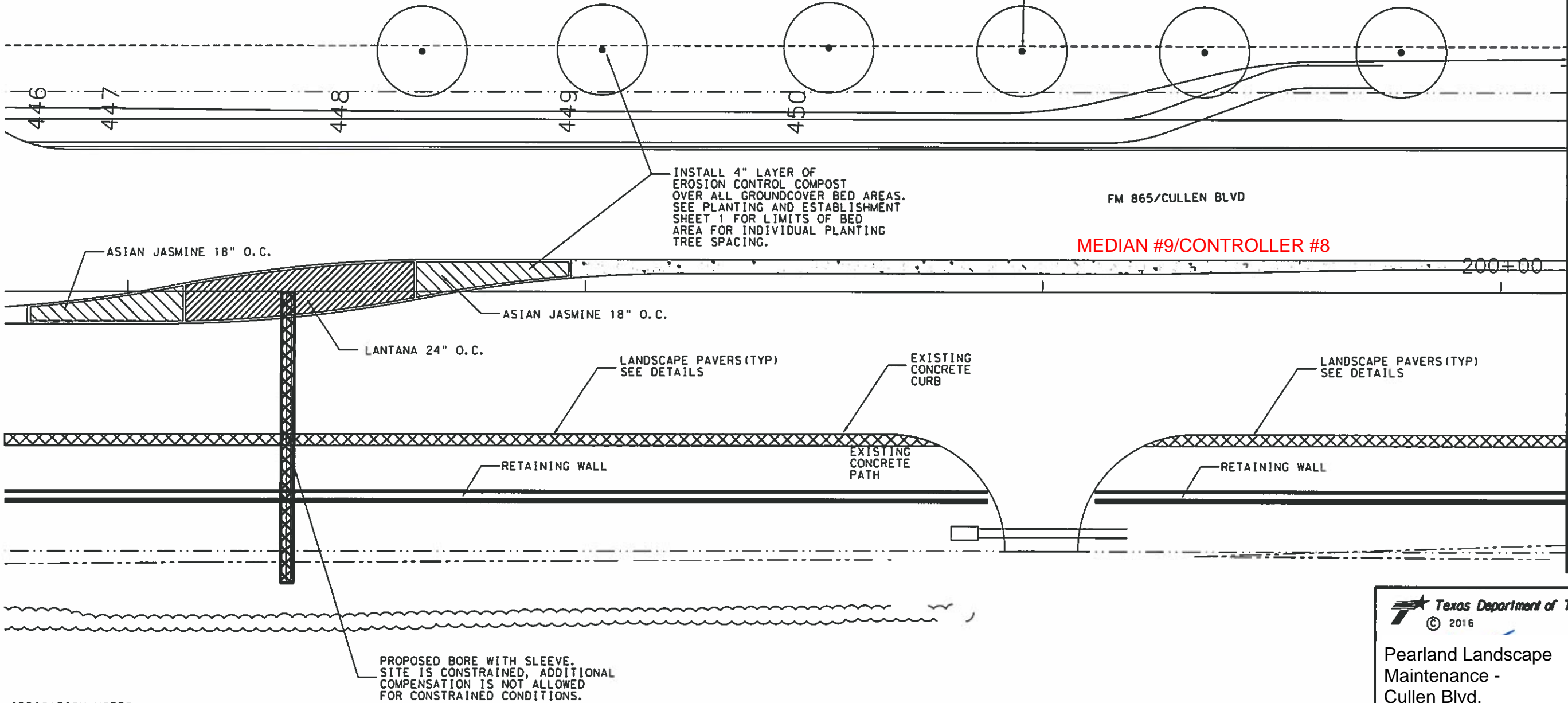
SHEET 10 OF 12

FED. RD. DIST. NO.	PROJECT NO.	SHEET NO.
		C1.14
STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
	JOB	HIGHWAY NO.
	301, etc	FM 2004, etc

NOT TO SCALE

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HIGH RISE LIVE OAKS.
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Cullen Blvd.
05.15.19

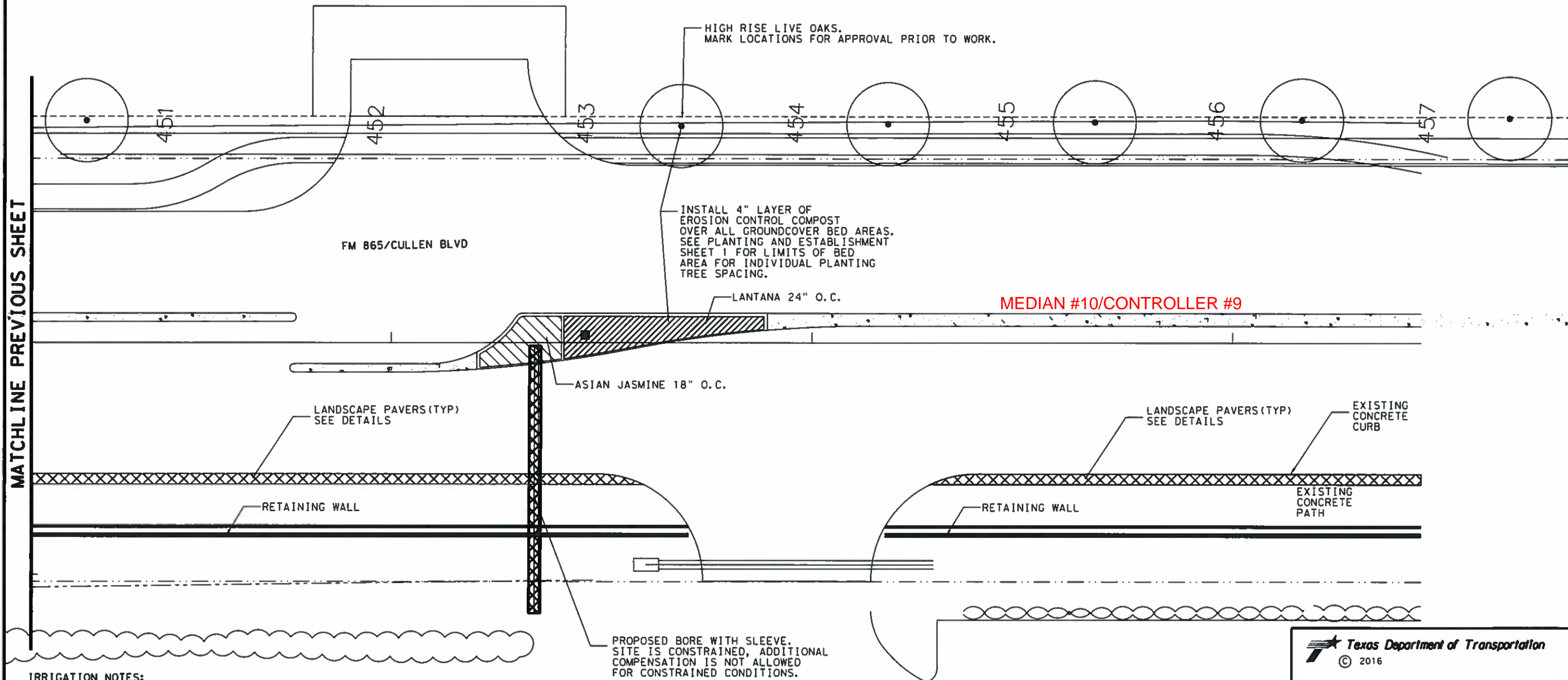
CCA No. 115-046A

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LANDSCAPE LAYOUT
FM 865/CULLEN BLVD
PEARLAND
CSJ: 0912-31-266

SHEET 11 OF 12					
FED. RD. DIST. NO.	PROJECT NO.		SHEET NO.		
			C1.15		
STATE	DISTRICT	COUNTY			
TEXAS	HOUSTON	BRAZORIA			
FILE NAME:	CONT.	SECT.	JOB	HIGHWAY NO.	
	0912	31	301, etc	FM 2004, etc	

MATCHLINE PREVIOUS SHEET



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LANDSCAPE LAYOUT

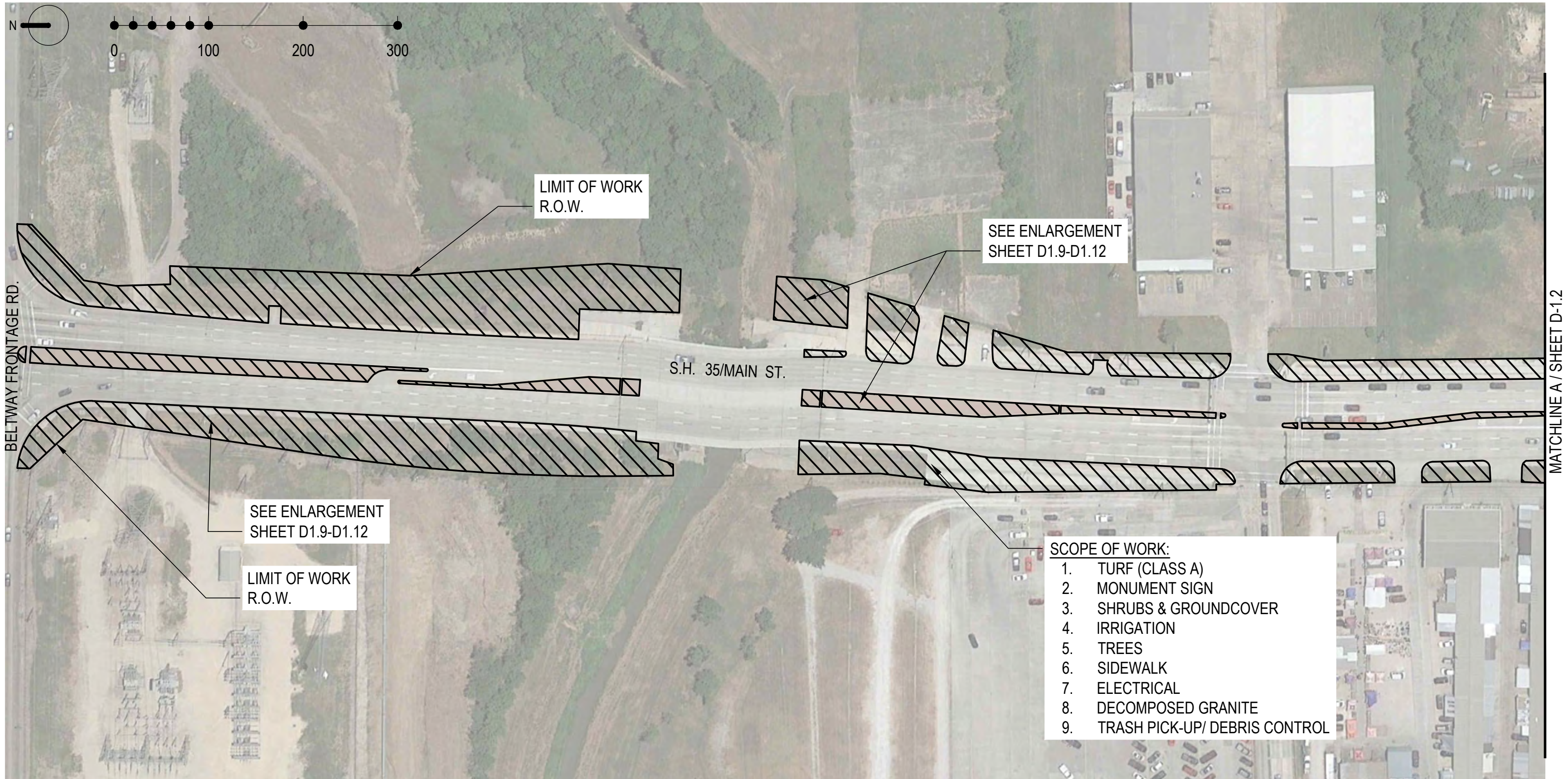
FM 865/CULLEN BLVD
PEARLAND

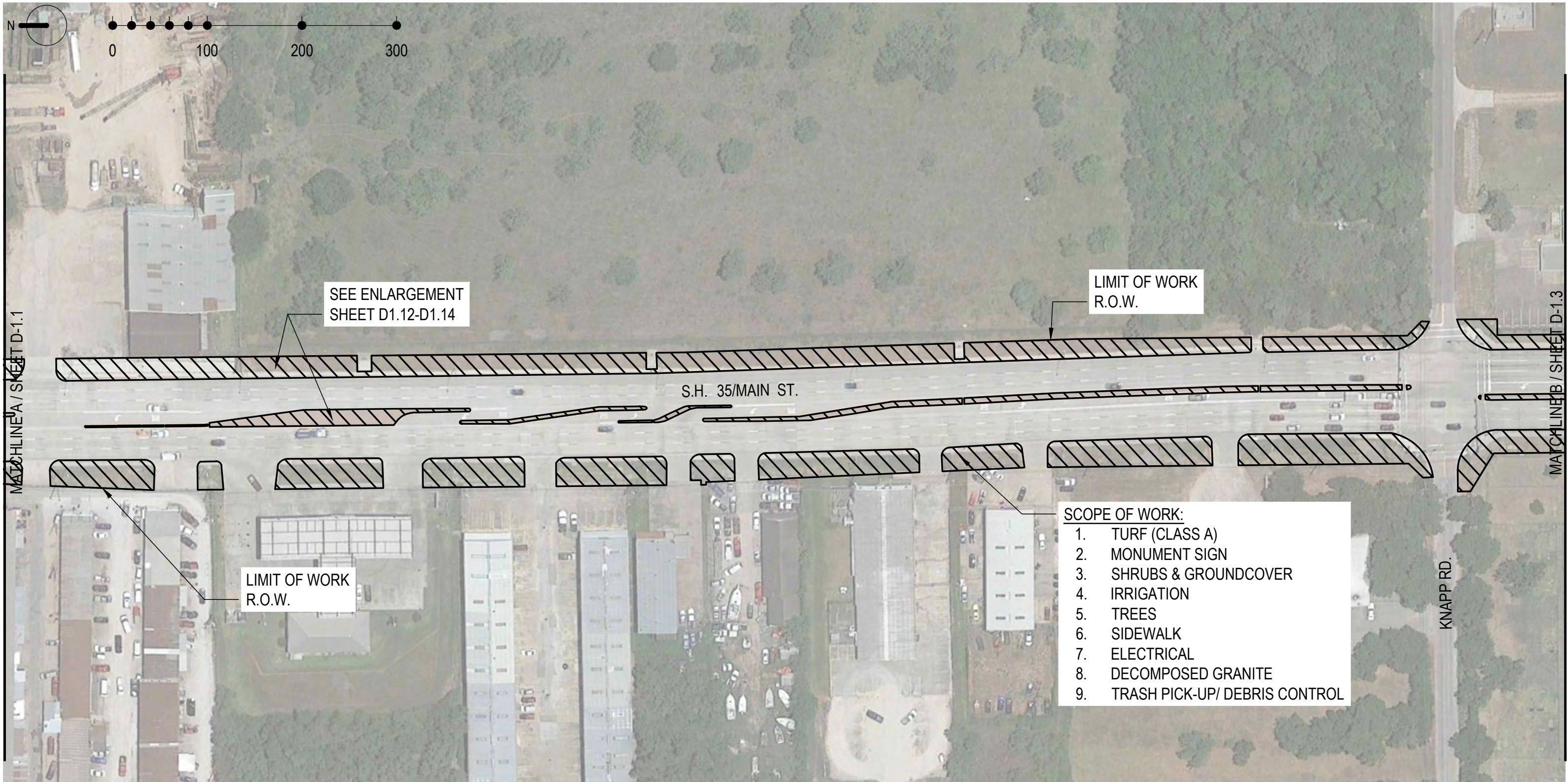
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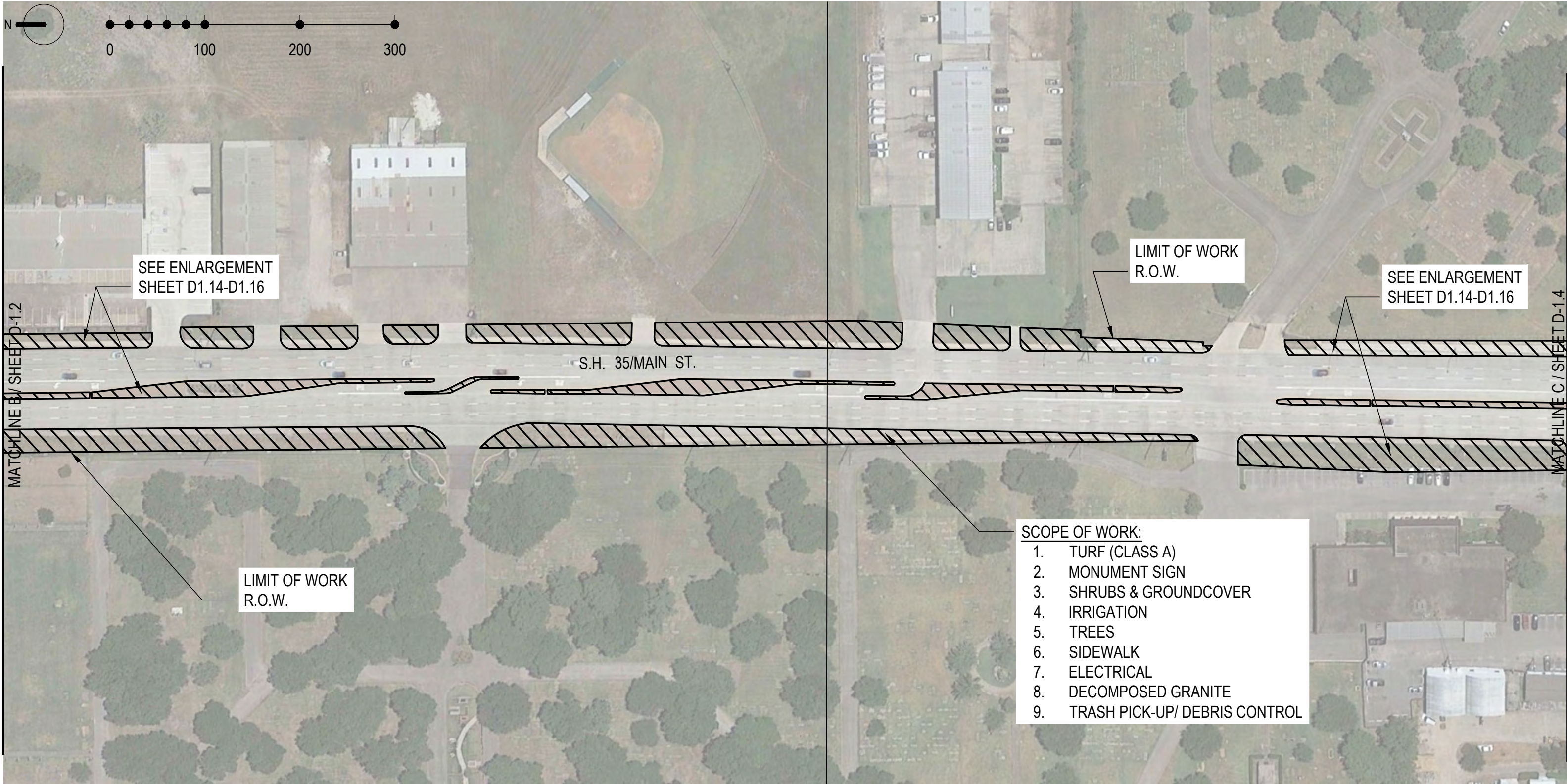
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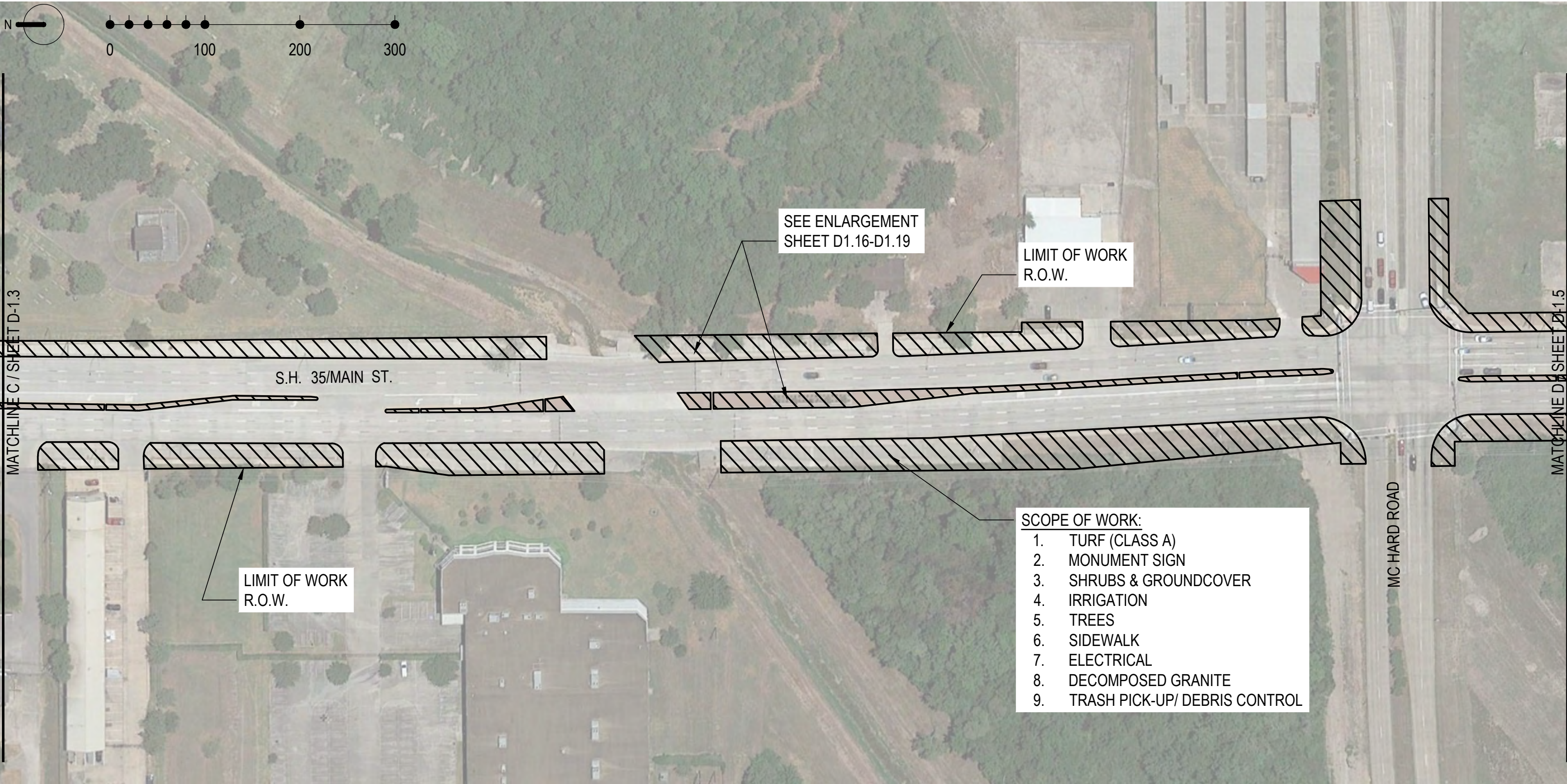
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STATE	DISTRICT	COUNTY
TEXAS	HOUSTON	BRAZORIA
FILE NAME:	CONT.	SECT.
	0912	31
JOB	HIGHWAY NO.	
301, etc	FM 2004, etc	

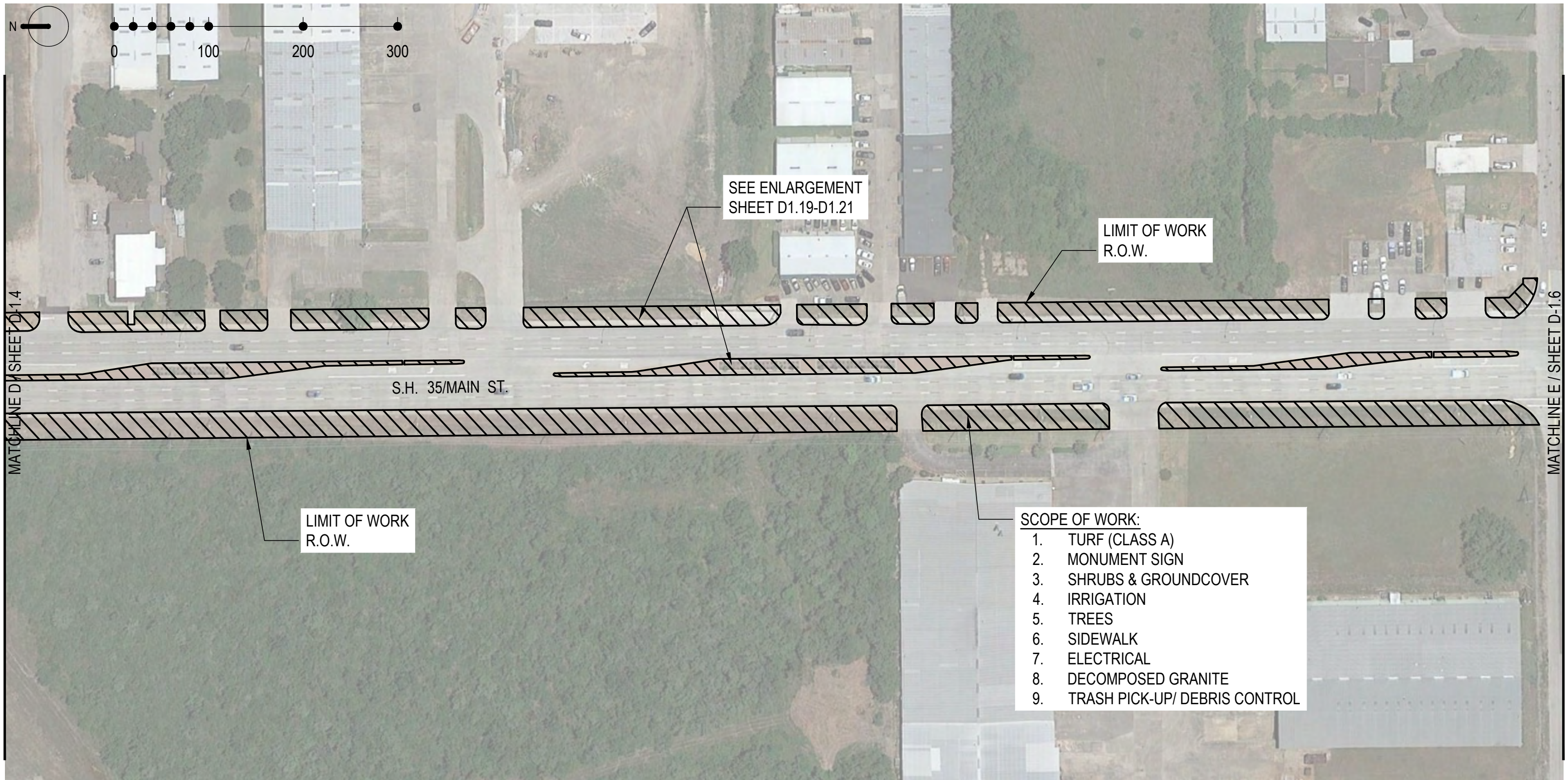
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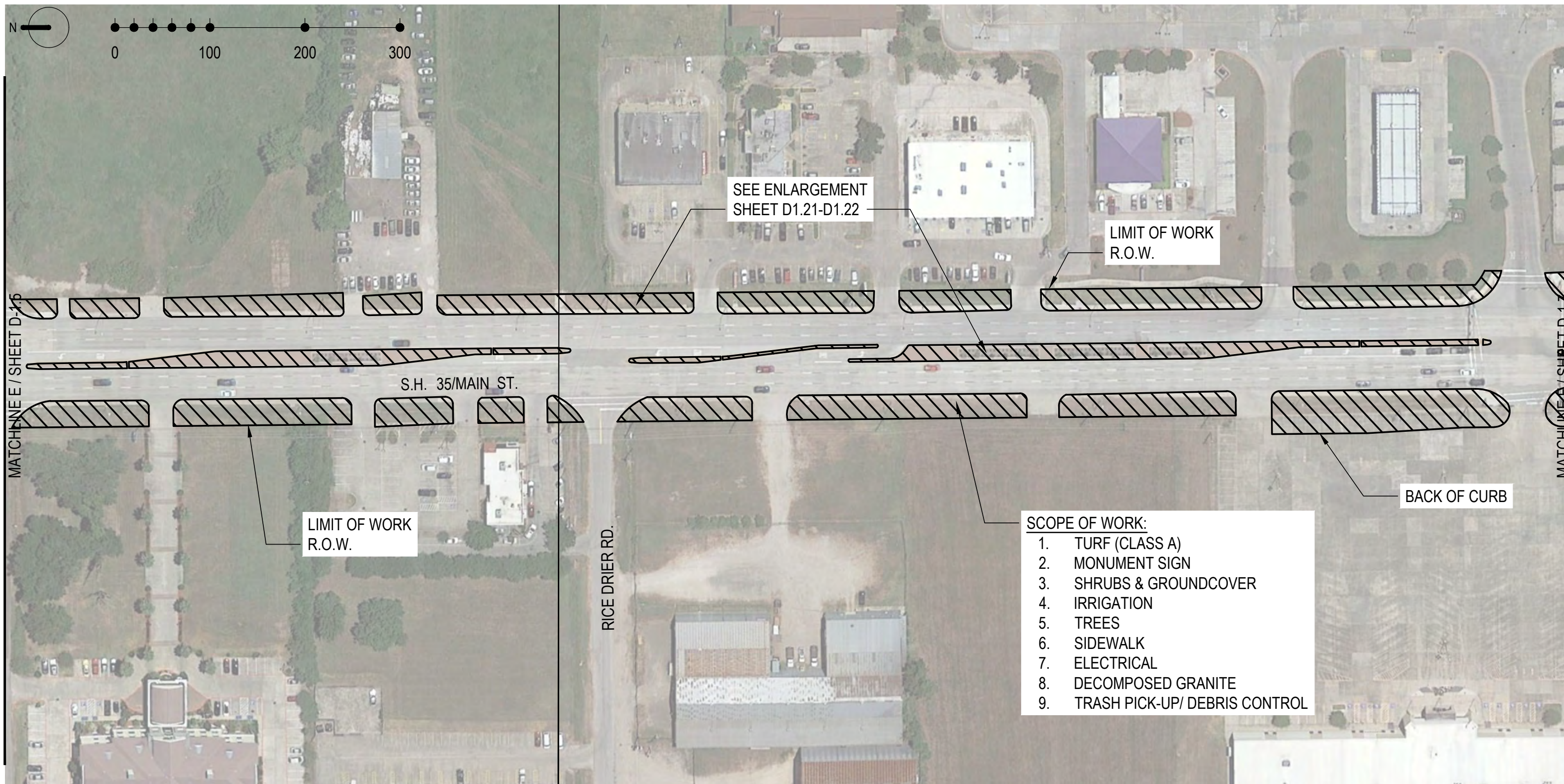


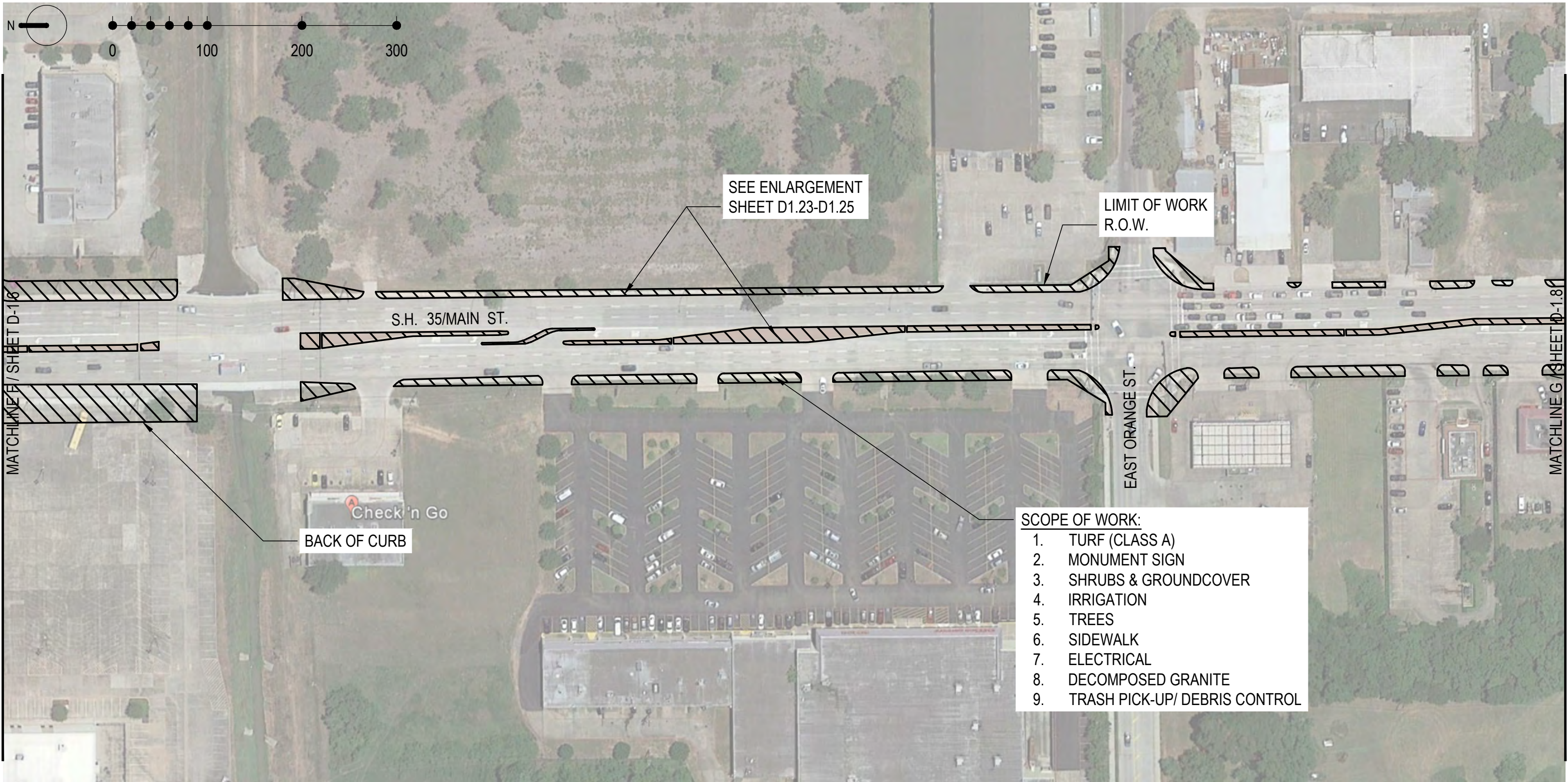


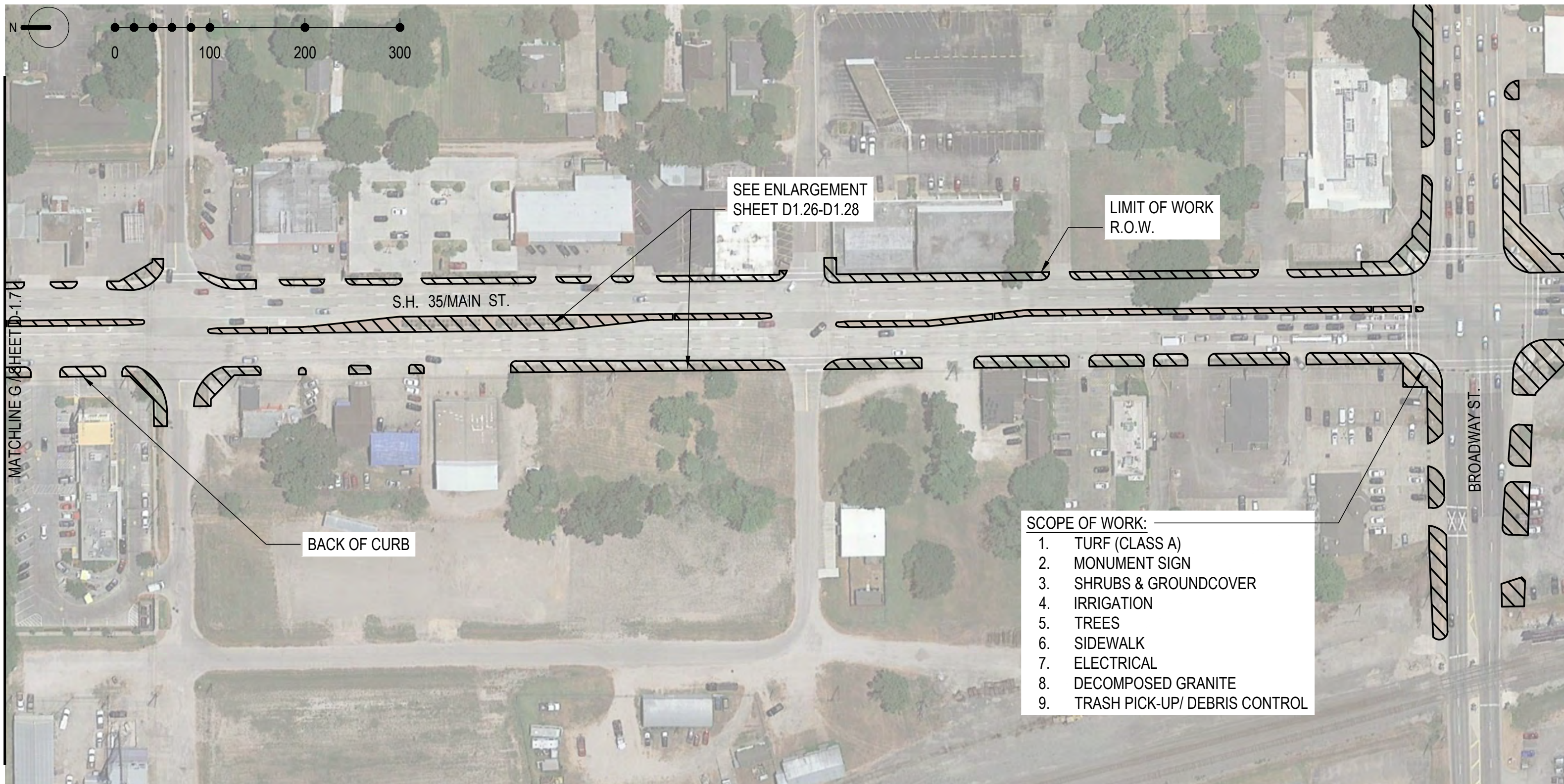


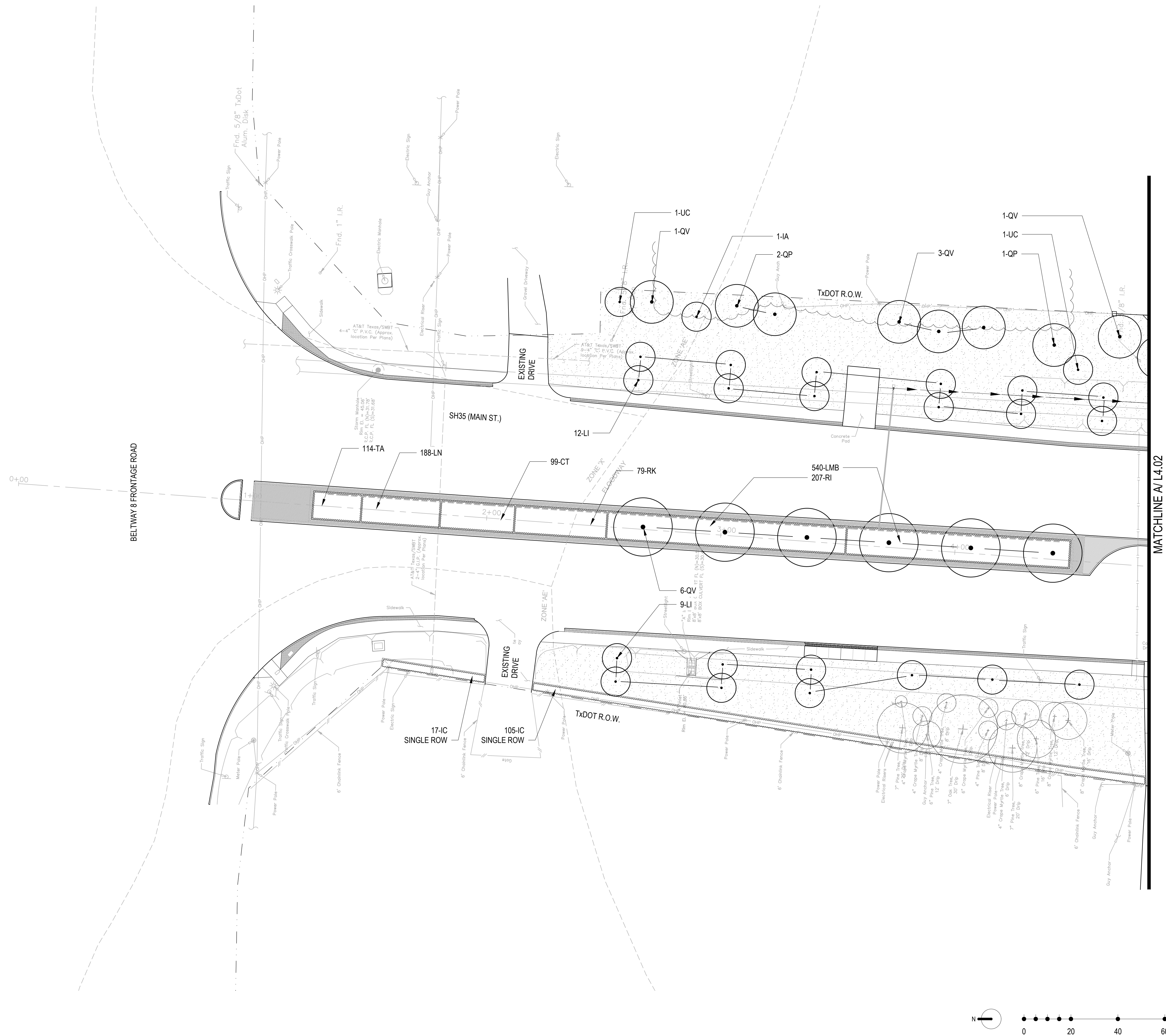












CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX , 77584
T: 281 997 3000

CIVIL

WEISSER ENGINEERING CO

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS

MINOR DESIGN

1601 W. WEBSTER #3

HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION

JAMES POLE IRRIGATION

100 N. LOCUST SUITE 3

DENTON, TX, 76201

T: 940 243 2364

ELECTRICAL

DBR, INC

9990 RICHMOND AVENUE #30M

HOUSTON, TX
T: 713 914 0888

STRUCTURAL

BEC ENGINEERING

3200 WILCREST DRIVE, SUITE 440

HOUSTON, TX 77042

T: 832 240 3771

Pearland Landscape

Maintenance -

Maintenance = $0.11 \times 0.5 / \text{Min} = 0.0055$

S.H. 35/1

CCA No. 115-046A

FOR REFERENCE ONLY

SH 35 GATEWAY &

CORRIDOR

PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW

CHECKED BY: SSS

DATE: 01.29.2018

SCALE: 1" = 20'-0"

PROJECT #: 115-052

D1.9

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX , 77584
T: 281 997 3000

WEISSER ENGINEERING CO

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

MINOR DESIGN

1601 W. WEBSTER #3
HOUSTON, TX 77019

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BEC ENGINEERING

3200 WILCREST DRIVE, SUITE 440

HOUSTON, TX 77043

T: 832 240 3771

CCA No. 115-046A

FOR REFERENCE ONLY

PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW

CHECKED BY: SSS

CHECKED BY: 33
DATE: 04.09.2018


DATE: 01.29.2018

SCALE: 1" = 20'-0"


D1.10



PLANT LEGEND	
TREES	
JA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CRAPEMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
IC	'CARISSA' HOLLY
DV	'BUTTERFLY' IRIS
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RK	INDIAN HAWTHORN
RP	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
QJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE

 EXISTING TREE TO
REMAIN, TYP.

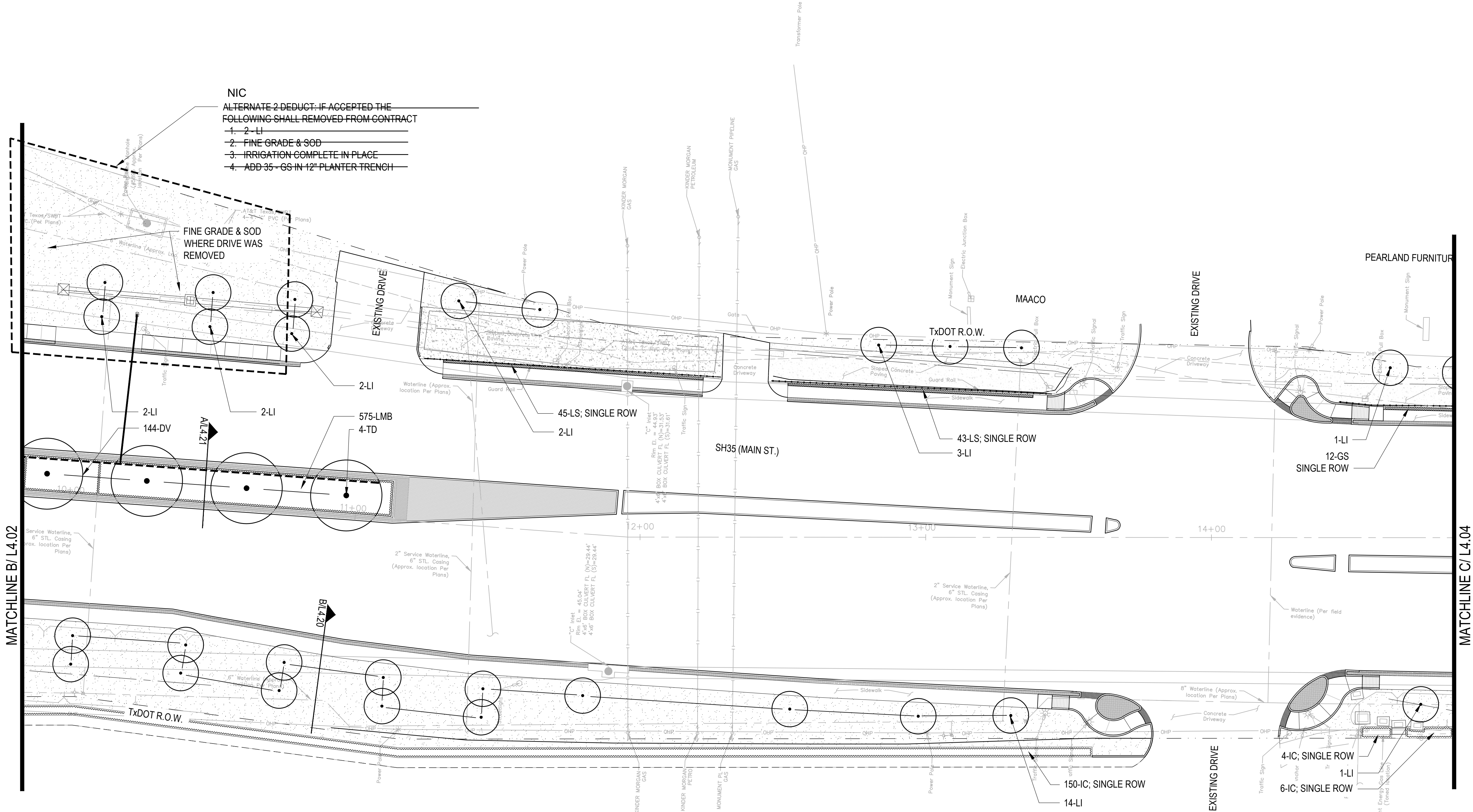
FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



PROPOSED TREE,
TYP.

SHRUBS &
GROUND COVER, TYP.

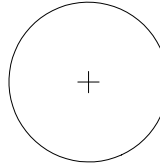
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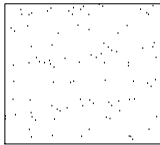
NIC
ALTERNATE 2 DEDUCT-IF ACCEPTED THE
FOLLOWING SHALL REMOVED FROM CONTRACT
1. 2-LI
2. FINE GRADE & SOD
3. IRRIGATION COMPLETE IN PLACE
4. ADD 35-GS IN 12\"/>

LEGEND

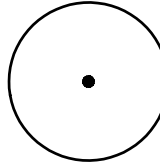
PLANT LEGEND	
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RI*	INDIAN HAWTHORN
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LMB	BIG BLUE LIRIOPE
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TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE



EXISTING TREE TO
REMAIN, TYP.



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



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TYP.



SHRUBS &
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Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR

PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW

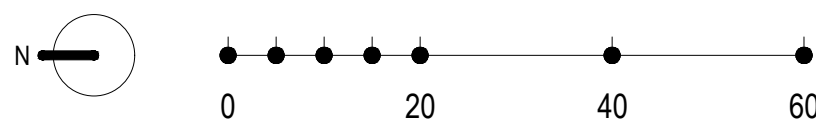
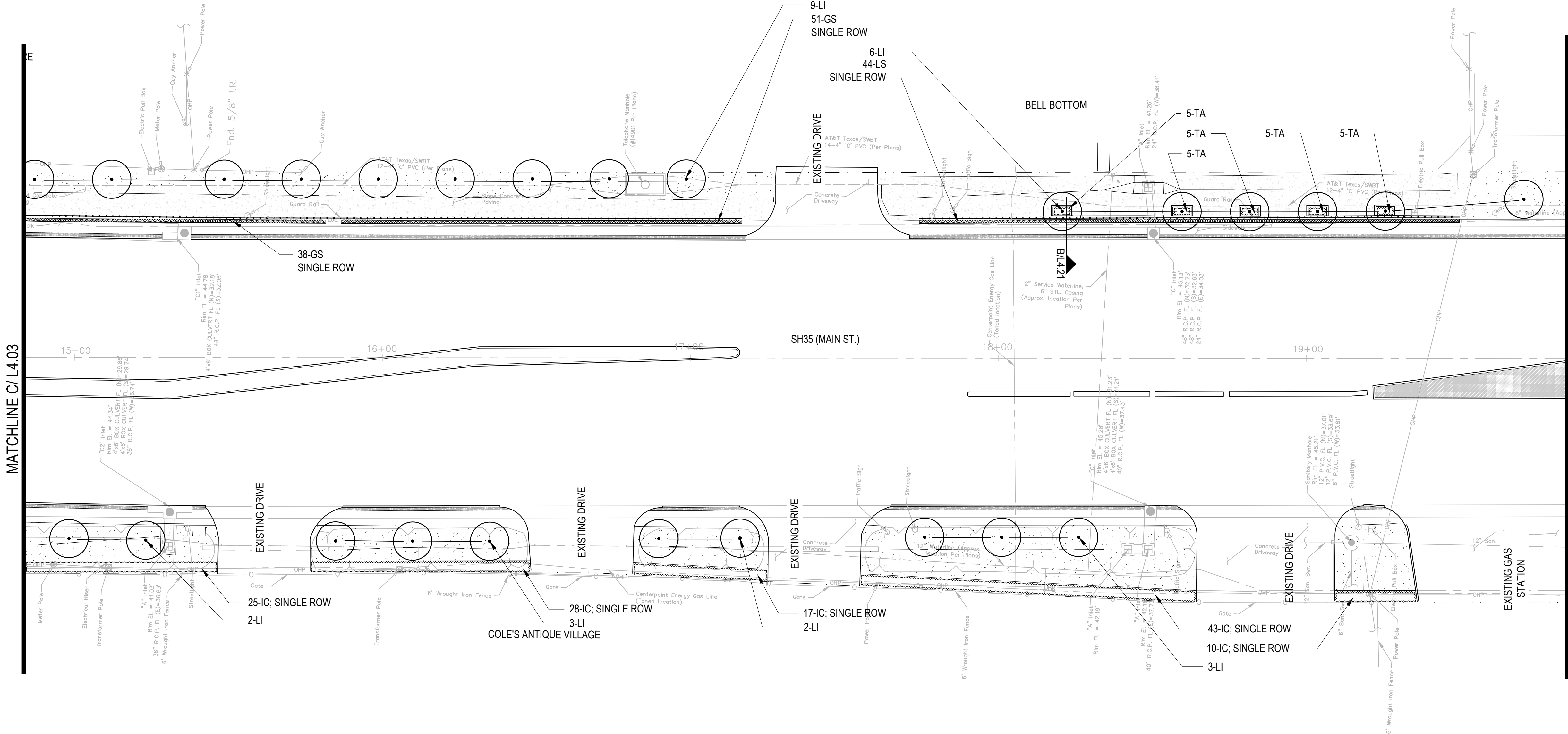
CHECKED BY: SSS

DATE: 01.29.2018

SCALE: 1" = 20'-0"

PROJECT #: 115-052

D1.11



LEGEND

PLANT LEGEND	
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QV	LIVE OAK
TD	BALD CYPRESS
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R*	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
OJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE

- EXISTING TREE TO REMAIN, TYP.
- FIND GRADE & SOD ALL AREAS DAMAGED BY CONSTRUCTION
- PROPOSED TREE, TYP.
- SHRUBS & GROUNDCOVER, TYP.

NOTES

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC
11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX , 77584
T: 281 997 3000

CIVIL

WEISSER ENGINEERING CO.
19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS

MINOR DESIGN
1601 W. WEBSTER #3
HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION

JAMES POLE IRRIGATION
100 N. LOCUST SUITE 3
DENTON, TX, 77019
T: 940 243 2364

ELECTRICAL

DBR, INC.
9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 832 914 0888

STRUCTURAL

BEC ENGINEERING
3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

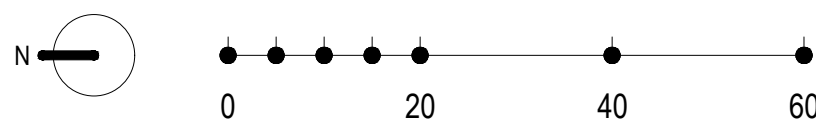
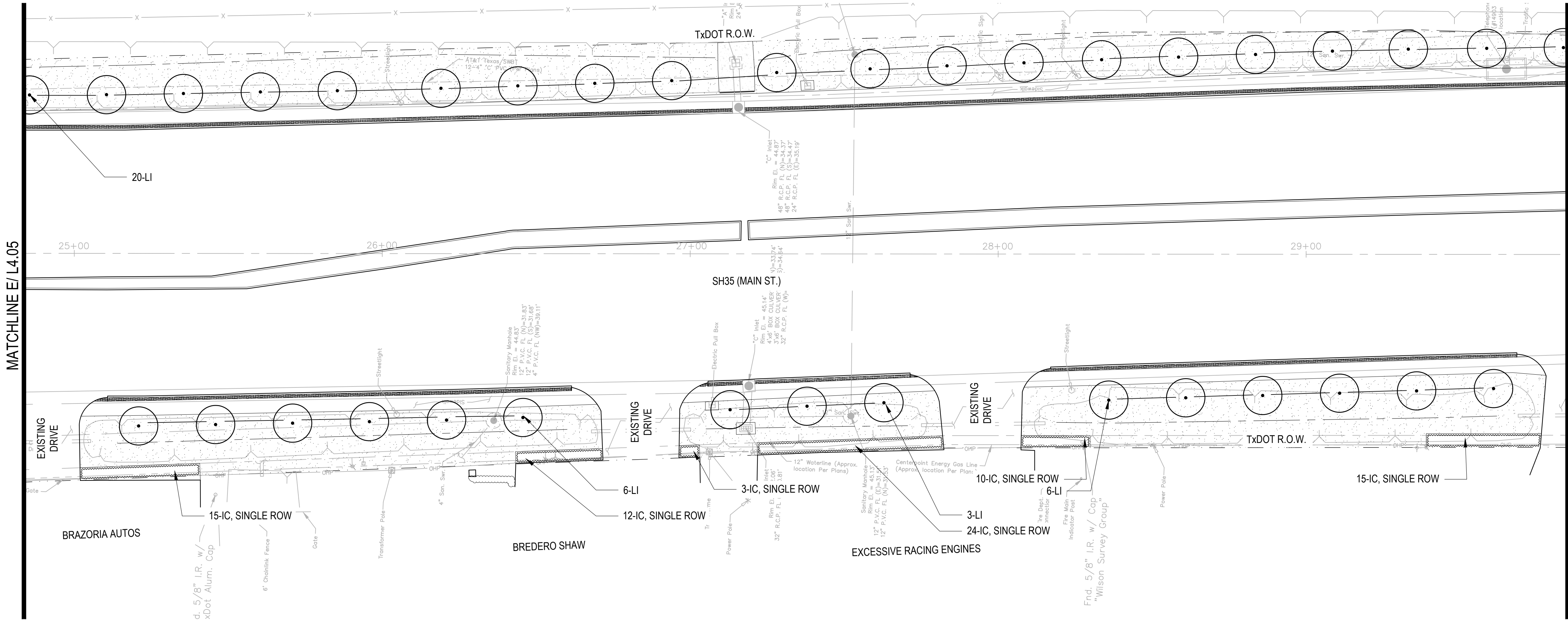
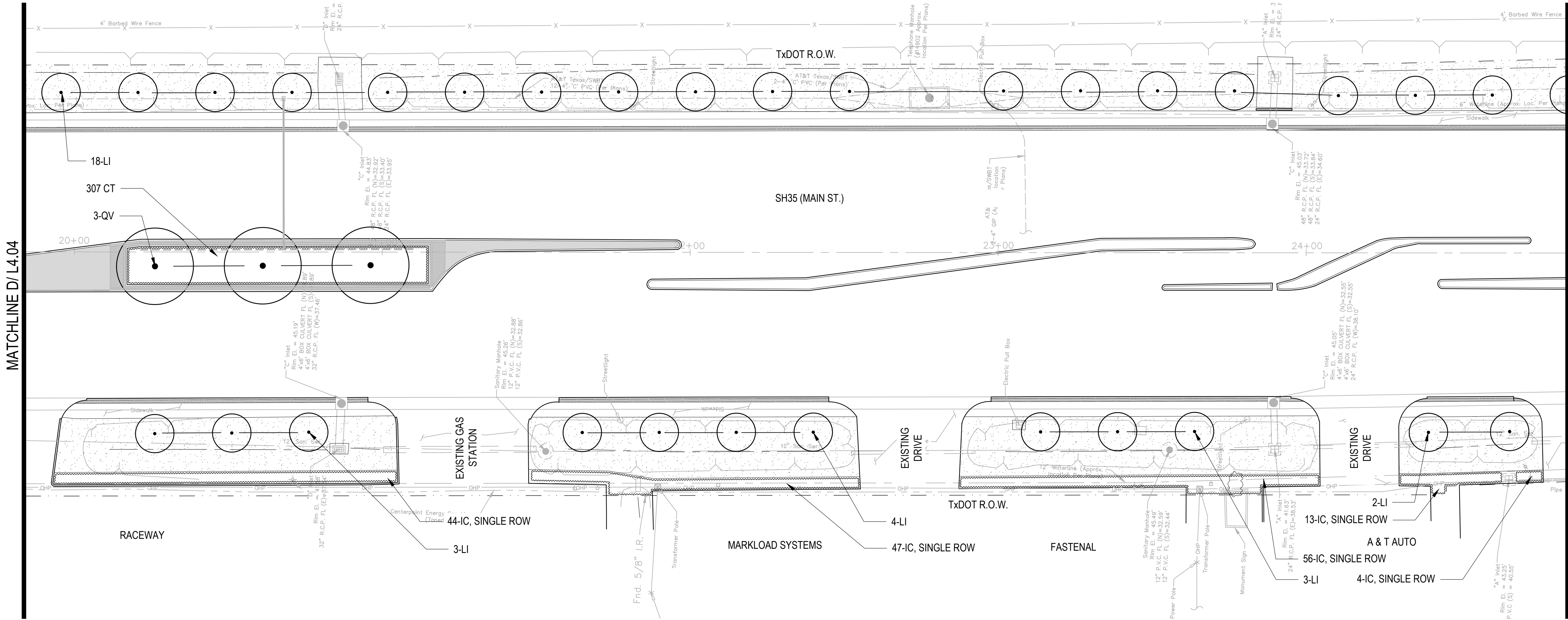
FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR
PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

D1.12



LEGEND

PLANT LEGEND	
TREES	
IA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE Crape Myrtle
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUND COVER	
CT	BOTTLE BRUSH
DV	BUTTERFLY IRIS
IC	"CARISSA" HOLLY
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RI	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
OJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE

- EXISTING TREE TO REMAIN, TYP.
- FIND GRADE & SOD ALL AREAS DAMAGED BY CONSTRUCTION
- PROPOSED TREE, TYP.
- SHRUBS & GROUND COVER, TYP.

NOTES

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX, 77584
T: 281 997 3000

CIVIL

WEISSER ENGINEERING CO.

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS

MINOR DESIGN

1601 W. WEBSTER #3
HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION

JAMES POLE IRRIGATION

100 N. LOCUST SUITE 3
DENTON, TX, 77021
T: 940 243 2364

ELECTRICAL

DBR, INC.

9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 713 914 0888

STRUCTURAL

BEC ENGINEERING

3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

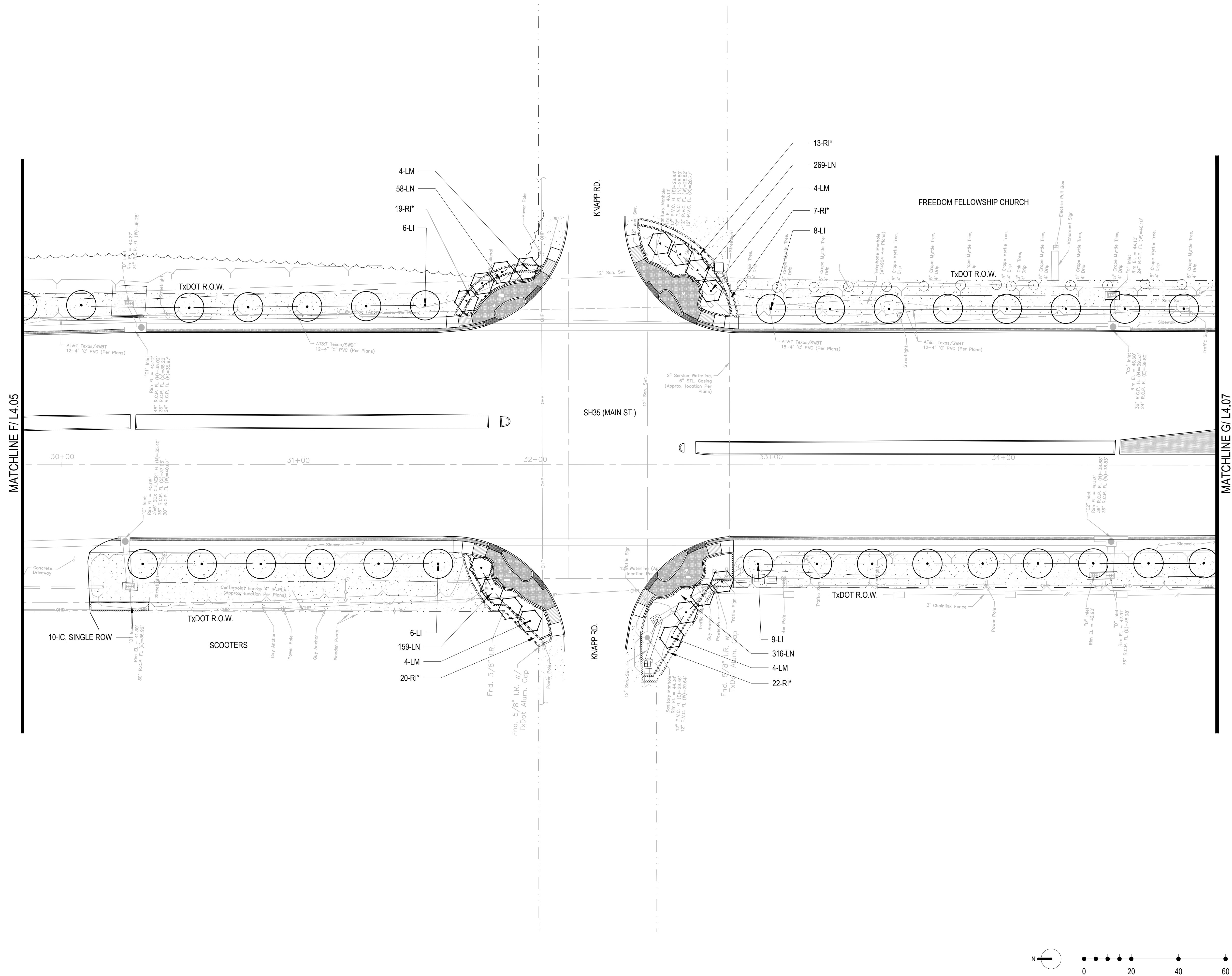
FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR
PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

D1.13



PLANT LEGEND	
TREES	
IA	EAGLESTON HOLLY
LI	NATCHEEZ CRAPE MYRTLE
LM	MUSKOGEE CrapeMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
DV	BUTTERFLY IRIS
IC	"CARISSA" HOLLY
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RI*	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
QJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE

EXISTING TREE TO REMAIN, TYP.

FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION

PROPOSED TREE,
TYP.

SHRUBS &
GROUND COVER, TYP.

NOTES

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX , 77584
T: 281 997 3000

CIVIL

WEISSER ENGINEERING CO

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS

MINOR DESIGN

1601 W WEBSTER #3

HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION

JAMES POLE IRRIGATION

100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 243 2364

ELECTRICAL

DBR INC

9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 713 914 0888

STRUCTURAL

BFC ENGINEERING

3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

SH 35 GATEWAY & CORRIDOR

PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW

CHECKED BY: S.S.S

DATE: 01/29/2018

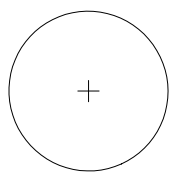
SCALE: 1" = 20'-0"

PROJECT #: 115-052

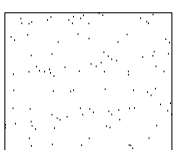
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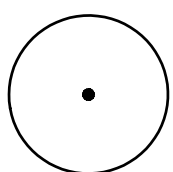
PLANT LEGEND	
TREES	
JA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CRAPEMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
IC	'CARISSA' HOLLY
DV	'BUTTERFLY' IRIS
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RK	INDIAN HAWTHORN
RF	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
QJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE



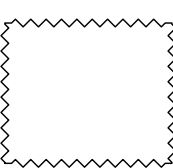
EXISTING TREE TO
REMAIN, TYP.



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



PROPOSED TREE,
TYP.

SHRUBS &
GROUND COVER, TYP.

SH 35 GATEWAY & CORRIDOR

PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CIVIL
WEISSER ENGINEERING CO.
19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

IRRIGATION
JAMES POLE IRRIGATION
100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 243 2364

STRUCTURAL
BEC ENGINEERING
3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

CCA No. 115-046A

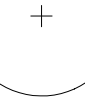



PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS

SCALE: 1" = 20'-0"
PROJECT #: 115-052

D1.16



	EXISTING TREE TO REMAIN, TYP.
	FIND GRADE & SOD ALL AREAS DAMAGED BY CONSTRUCTION
	PROPOSED TREE, TYP.
	SHRUBS & GROUNDCOVER, TYP.

LEGEND

NOTES

J:\PEARLAND SH 35 BEAUTIFICATION-CONCEPTUAL
115-0526.0-CD\6.2-CAD\6.21-SHEETS\14.X_PLANTING\14.08 PLANTING
PLAN.DWG

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CIVIL
WEISSER ENGINEERING CO.
19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

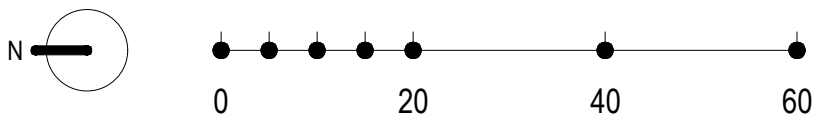
IRRIGATION
JAMES POLE IRRIGATION
100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 243 2364

STRUCTURAL
BEC ENGINEERING
3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

CCA No. 115-046A

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

NOTES





NOTES

EXISTING TREE TO REMAIN, TYP.

FIND GRADE & SOD ALL AREAS DAMAGED BY CONSTRUCTION

PROPOSED TREE, TYP.

SHRUBS & GROUNDCOVER, TYP.

ALL AREAS DAMAGED
BY CONSTRUCTION

PROPOSED TREE
TYP.

SHRUBS &
GROUND COVER, TYP.

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT
PEDC
11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX., 77084
T: 281 997 3000

CIVIL
WEISSER ENGINEERING CO.
19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS
MINOR DESIGN
1601 W. WEBSTER #3
HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION
JAMES POLE IRRIGATION
100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 243 2364

ELECTRICAL
DBR, INC.
9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 713 914 0888

STRUCTURAL
BEC ENGINEERING
3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 7771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

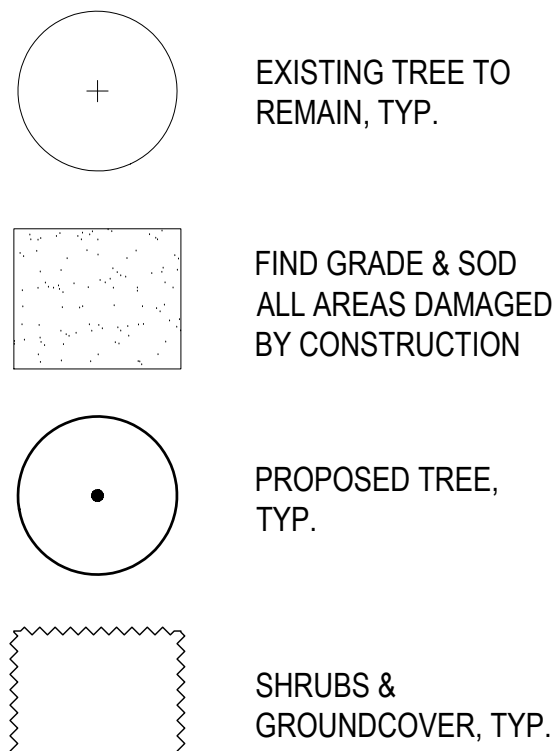
FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR
PEARLAND, TX


PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

D1.18



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



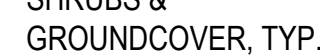
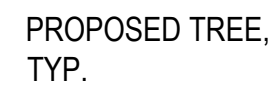
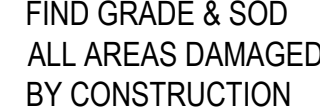
SHRUBS &
GROUNDCOVER, TYP.

NOTES

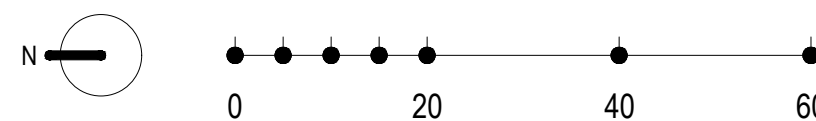
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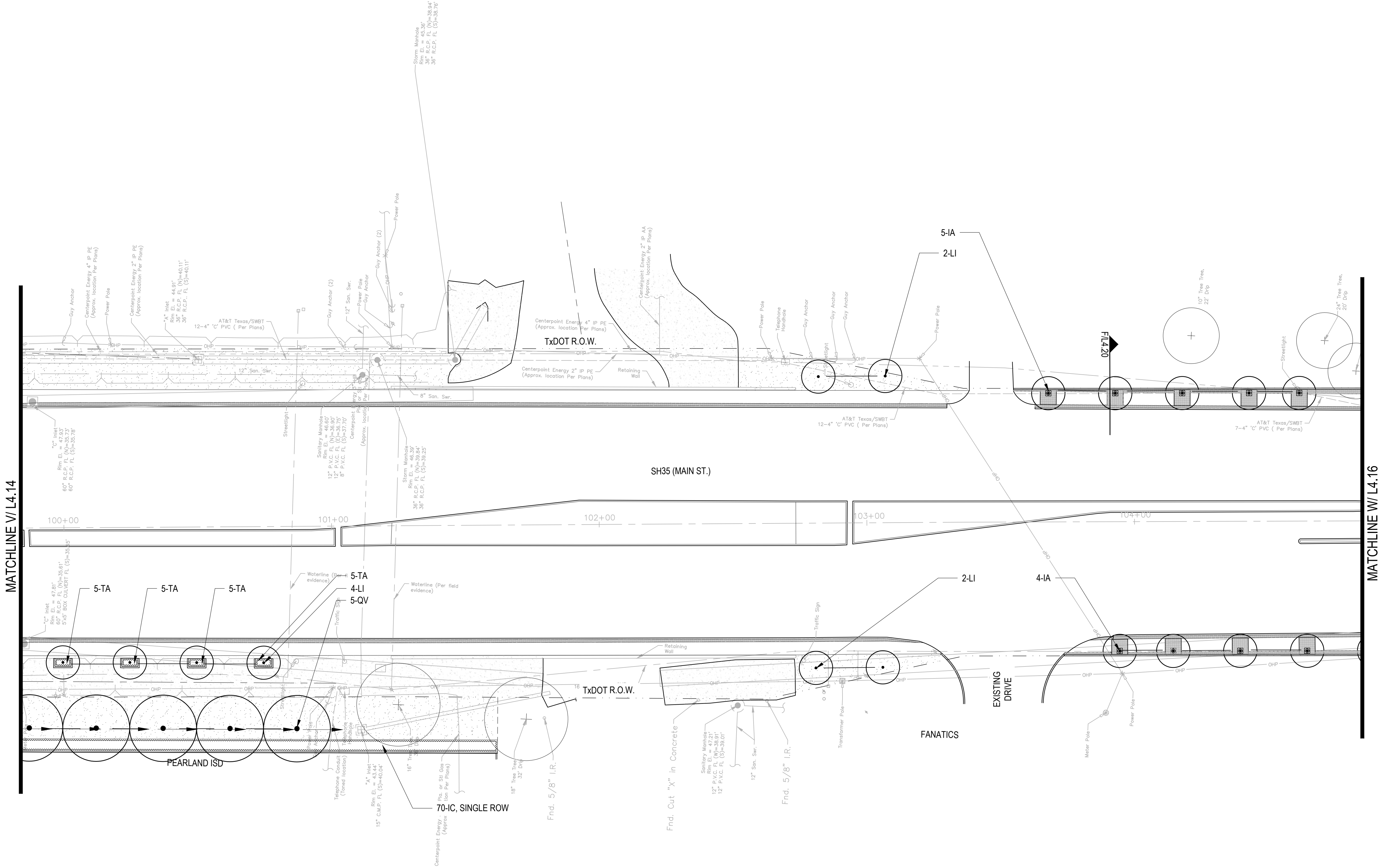


EXISTING TREE TO
REMAIN, TYP.



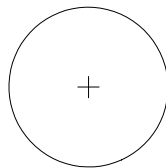
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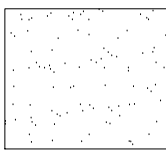


LEGEND

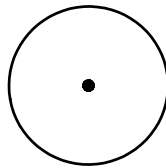
PLANT LEGEND	
TREES	
IA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CRAPEMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
DV	BUTTERFLY IRIS
IC	*CARISSA* HOLLY
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
R*	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
OJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE



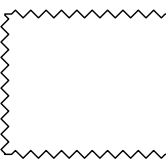
EXISTING TREE TO
REMAIN, TYP.



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



PROPOSED TREE,
TYP.



SHRUBS &
GROUNDCOVER, TYP.

NOTES

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX , 77584
T: 281 997 3000

CIVIL

WEISSER ENGINEERING CO.

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

GRAPHICS

MINOR DESIGN

1601 W. WEBSTER #3
HOUSTON, TX, 77019
T: 713 523 6644

IRRIGATION

JAMES POLE IRRIGATION

100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 253 2364

ELECTRICAL

DBR, INC.

9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 713 914 0888

STRUCTURAL

BEC ENGINEERING

3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR
PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

D1.23



EXISTING TREE TO REMAIN, TYP.

FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION

PROPOSED TREE,
TYP.

SHRUBS &
GROUNDCOVER, TYP.

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

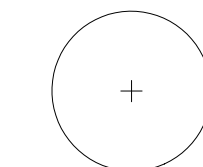
FOR REFERENCE ONLY

DRAWN BY: BMW
CHECKED BY: SSS
DATE: 01.29.2018
SCALE: 1" = 20'-0"
PROJECT #: 115-052

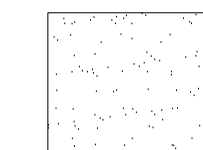
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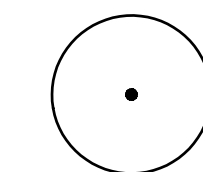
PLANT LEGEND	
TREES	
IA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CrapeMyrtle
QP	MEXICAN WHITE OAK
OY	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
DV	BUTTERFLY IRIS
IC	"CARISSA" HOLLY
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
Rr	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIROPE
DJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYJUCKLE



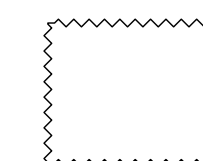
EXISTING TREE TO
REMAIN, TYP.



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION







PROPOSED TREE,
TYP.

SHRUBS &
GROUND COVER, TYP.

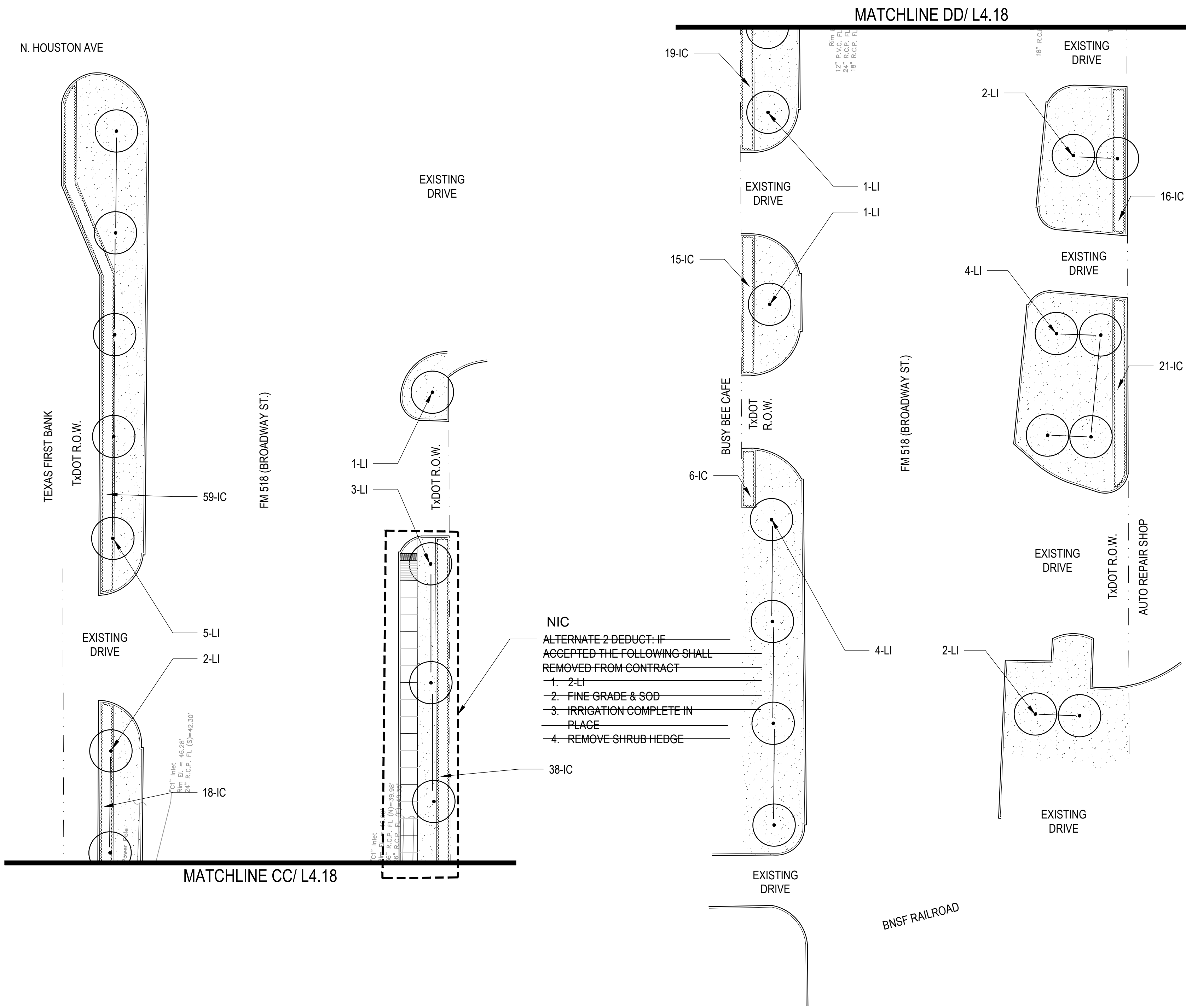
PEARLAND SH 35 BEAUTIFICATION-CONCEPTUAL
1115-0526.0-CD/6.21-SHEETS/4.X_PLANTING/4.17 PLANTING
PLAN DWG



TEES	
IA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CrapeMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
UC	CEDAR ELM
SHRUBS & GROUNDCOVER	
CT	BOTTLE BRUSH
IV	BUTTERFLY IRIS
IC	"CARISSA" HOLLY
LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RI*	INDIAN HAWTHORN
RED	KNOCKOUT ROSE
LMB	BIG BLUE LIROPE
OJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE

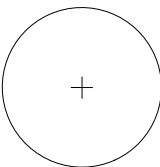
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	FIND GRADE & SOD ALL AREAS DAMAGED BY CONSTRUCTION
	PROPOSED TREE, TYP.
	SHRUBS & GROUNDCOVER, TYP.

NOTES

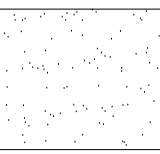


LEGEND

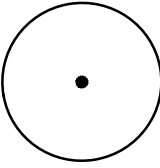
PLANT LEGEND	
TREES	
IA	EAGLESTON HOLLY
LI	NATCHEZ CRAPE MYRTLE
LM	MUSKOGEE CRAPEMYRTLE
QP	MEXICAN WHITE OAK
QV	LIVE OAK
TD	BALD CYPRESS
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SHRUBS & GROUNDCOVER	
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LN	PURPLE TRAILING LANTANA
RI	INDIAN HAWTHORN
RI"	INDIAN HAWTHORN
RK	RED KNOCKOUT ROSE
LMB	BIG BLUE LIRIOPE
OJ	MONKEY GRASS
TA	ASIAN JASMINE
GS	CAROLINA JESSIMINE
LS	CORAL HONEYSUCKLE



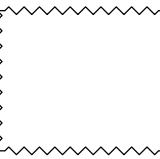
EXISTING TREE TO
REMAIN, TYP.



FIND GRADE & SOD
ALL AREAS DAMAGED
BY CONSTRUCTION



PROPOSED TREE,
TYP.



SHRUBS &
GROUNDCOVER, TYP.

NOTES

CLARK CONDON

LANDSCAPE ARCHITECTURE
10401 Stella Link Dr.
Houston, TX 77025
T: 713 871 1414 F: 713 871 0888

CLIENT

PEDC

11233 SHADOW CREEK PKWY SUITE 235
PEARLAND, TX, 77584
T: 281 997 3000

GRAPHICS

WEISSER ENGINEERING CO.

19500 PARK ROW, SUITE 100
HOUSTON, TX, 77084
T: 281 579 7300

IRRIGATION

JAMES POLE IRRIGATION

100 N. LOCUST SUITE 3
DENTON, TX, 76201
T: 940 243 2364

ELECTRICAL

DBR, INC.

9990 RICHMOND AVENUE #300
HOUSTON, TX
T: 713 914 0888

STRUCTURAL

BEC ENGINEERING

3200 WILCREST DRIVE, SUITE 440
HOUSTON, TX 77042
T: 832 240 3771

Pearland Landscape
Maintenance -
S.H. 35/Main St.
05.15.19

CCA No. 115-046A

FOR REFERENCE ONLY

SH 35 GATEWAY &
CORRIDOR
PEARLAND, TX

PLANTING PLAN

DRAWN BY: BMW

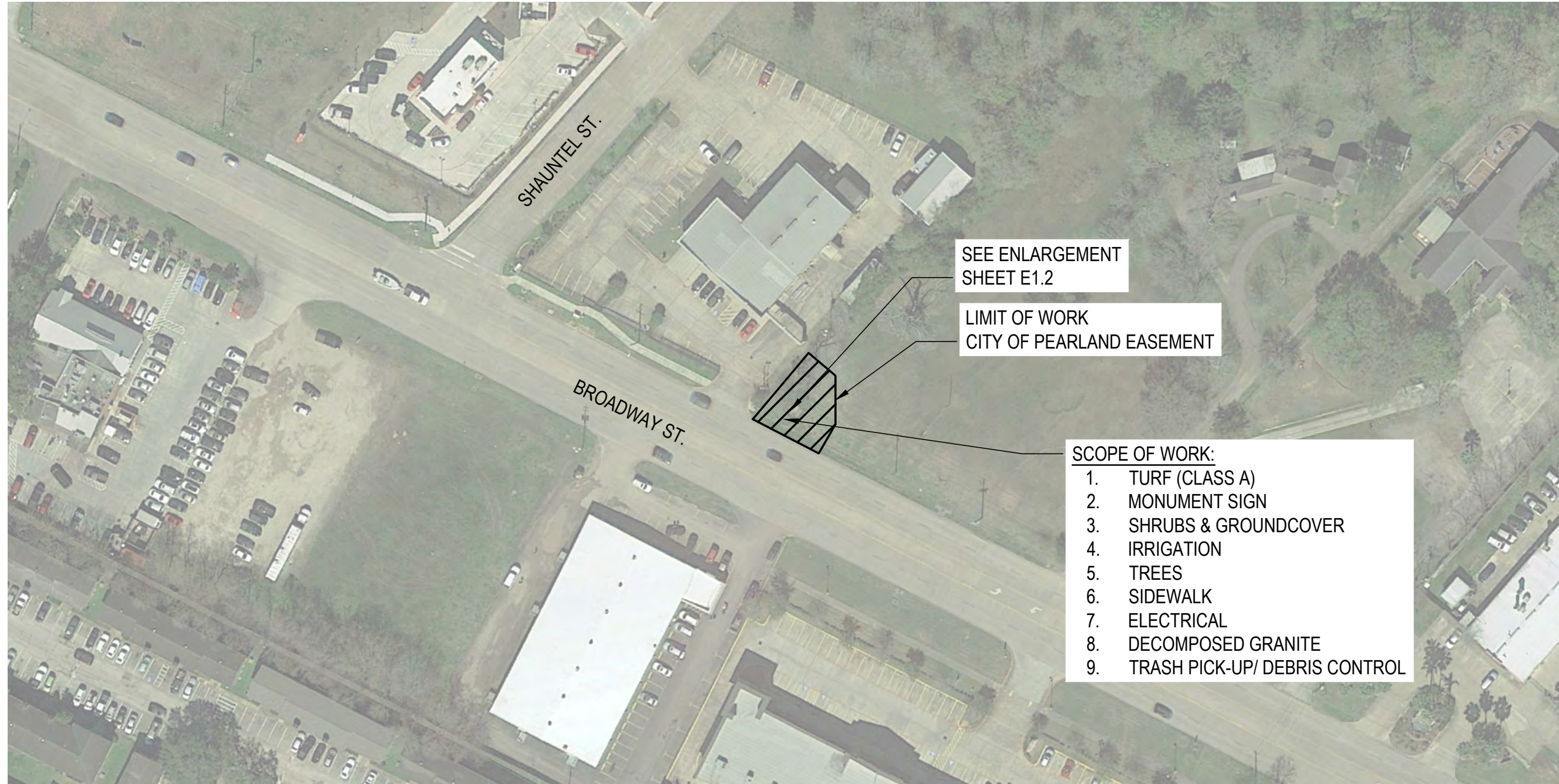
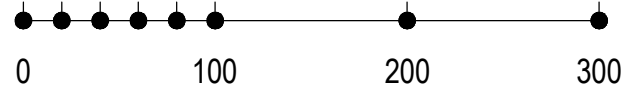
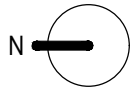
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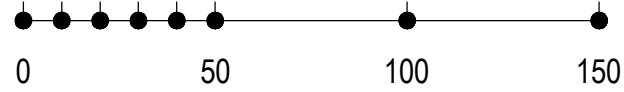
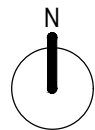
DATE: 01.29.2018

SCALE: 1" = 20'-0"

PROJECT #: 115-052

D1.27

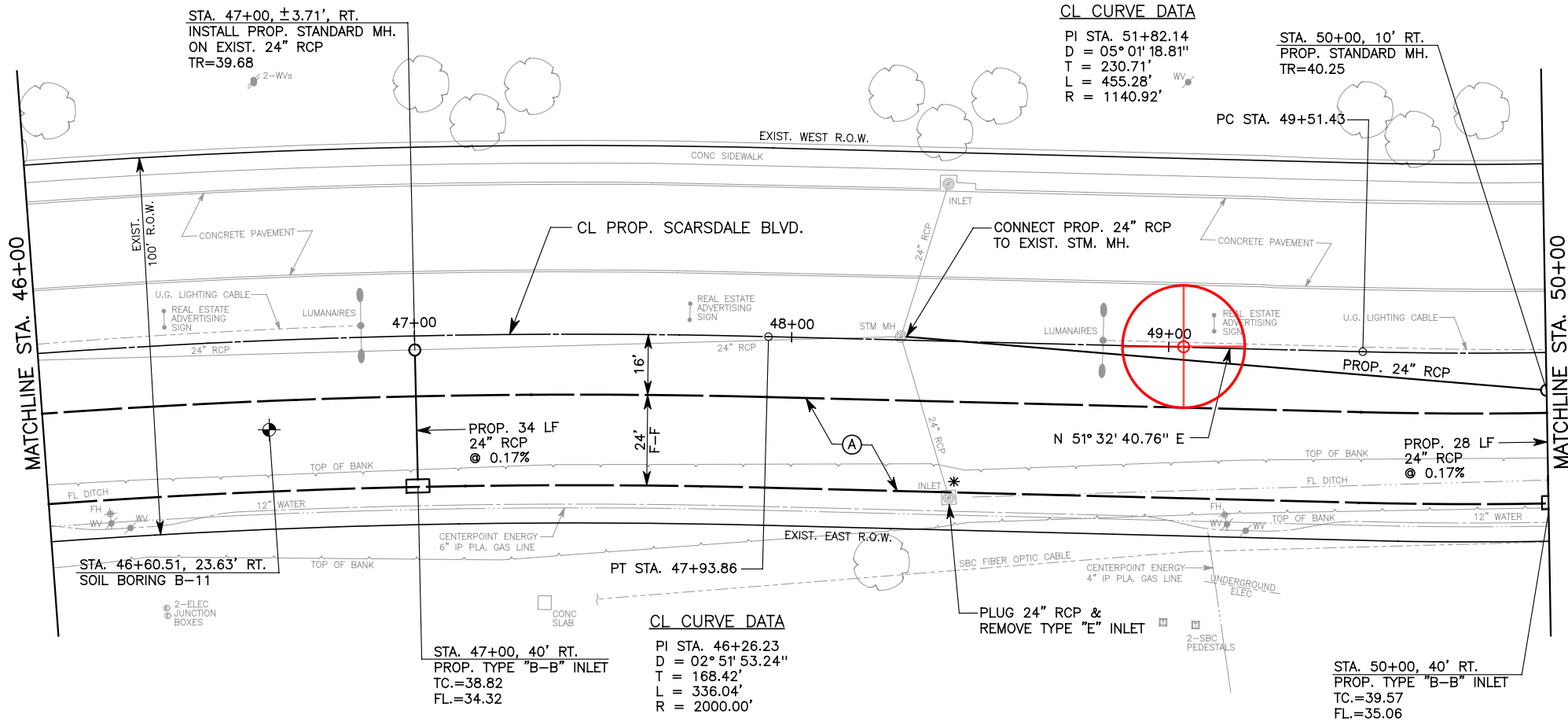




LIMIT OF WORK

- SCOPE OF WORK:**
1. MONUMENT SIGN
 2. SHRUBS & GROUNDCOVER
 3. IRRIGATION
 4. ELECTRICAL
 5. DECOMPOSED GRANITE
 6. TRASH PICK-UP/ DEBRIS CONTROL
- (MOWING BY OTHERS)

REVISED: 10/18/04 NJD
F:\100500\DWG\HCPID\rdwyf&p\pp10.dgn



TEMPORARY BENCH MARK:

SET RR SPIKE IN POWER POLE SOUTH SIDE OF SCARSDALE BLVD. 215' EAST OF THE CENTERLINE OF MARINO DR. STA. 53+70.77, 50.5' RT. EL. 40.98

SET CHIZELED SQUARE ON SOUTH END OF INLET AT NORTHWEST CORNER OF SCARSDALE BLVD. AND FORTUNA DR. STA. 44+40.03, 65.33' LT. EL. 39.28

BENCH MARK:

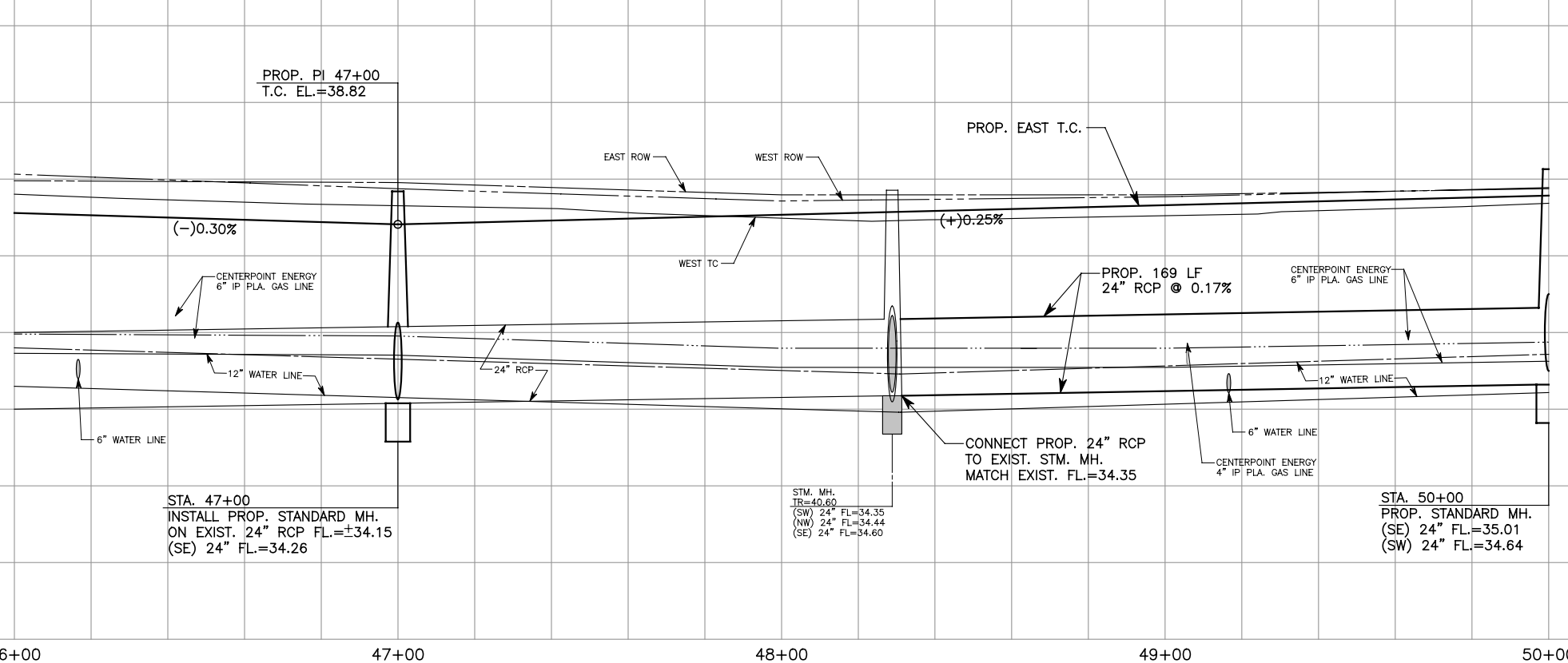
STA. 73+24.81, 3786.77' LT. C.O.H. MONUMENT #5750-0704 BRASS DISK @ END OF DRAINAGE DITCH ON EAST SIDE OF BLACKHAWK BLVD. ±185 SOUTH OF SAGEDOWN LANE NGS DATUM 1973 ADJUSTMENT EL. 38.84

NOTE:

- ALL UTILITIES ARE TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- SEE DETAIL 'D' ON "PAVEMENT DETAILS" SHEET FOR DETAILS.
- SEE DETAIL 'F' ON "PAVEMENT DETAILS" SHEET FOR DETAILS.

LEGEND

- * TO BE REMOVED
- ** TO BE REMOVED (BY OTHERS)
- *** TO BE RELOCATED (BY OTHERS)
- (A) PROP. 10" REINFORCED CONCRETE PAVEMENT w/PROP. 6" CONCRETE CURB



RECORD DRAWING

△				Designed By: PWP	Job No.: 100500
△				Drawn By: NJD	Date: MARCH, 2007
△				Checked By: GAC	Scale: H:1"=20', V:1"=2'
△				Approved By:	
Rev.	Date	Description	App.		



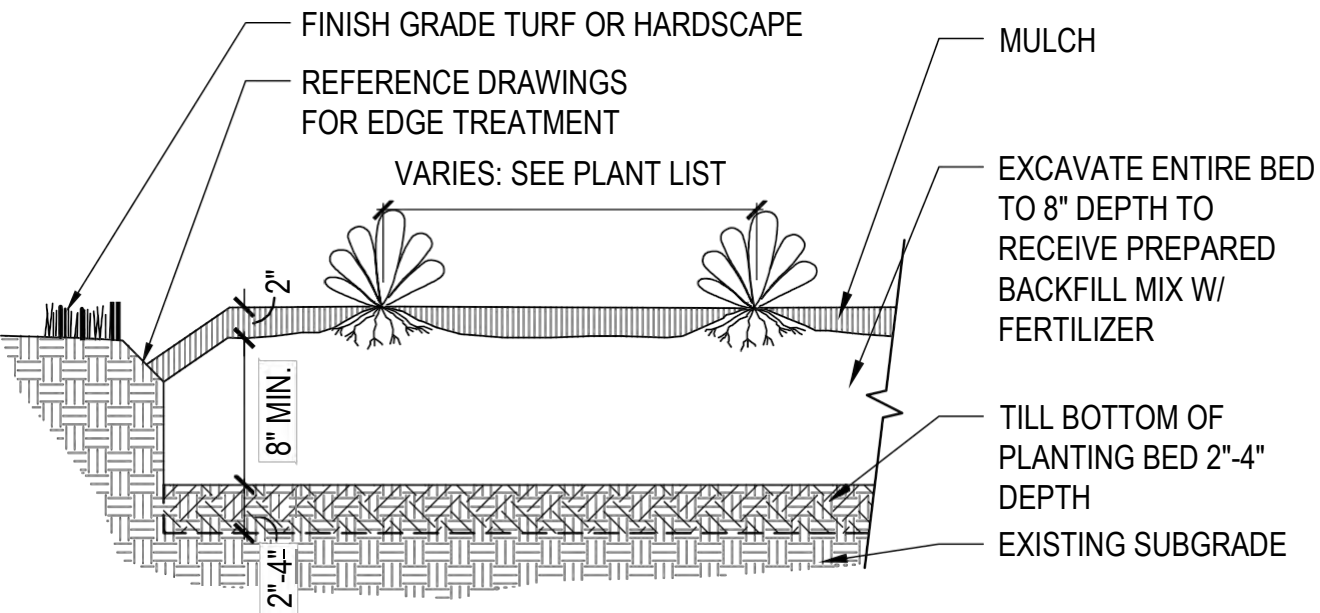
HARRIS COUNTY PUBLIC
INFRASTRUCTURE DEPARTMENT
ENGINEERING DIVISION

SCARSDALE BLVD.

ROADWAY PLAN AND PROFILE
STA. 46+00 TO STA. 50+00

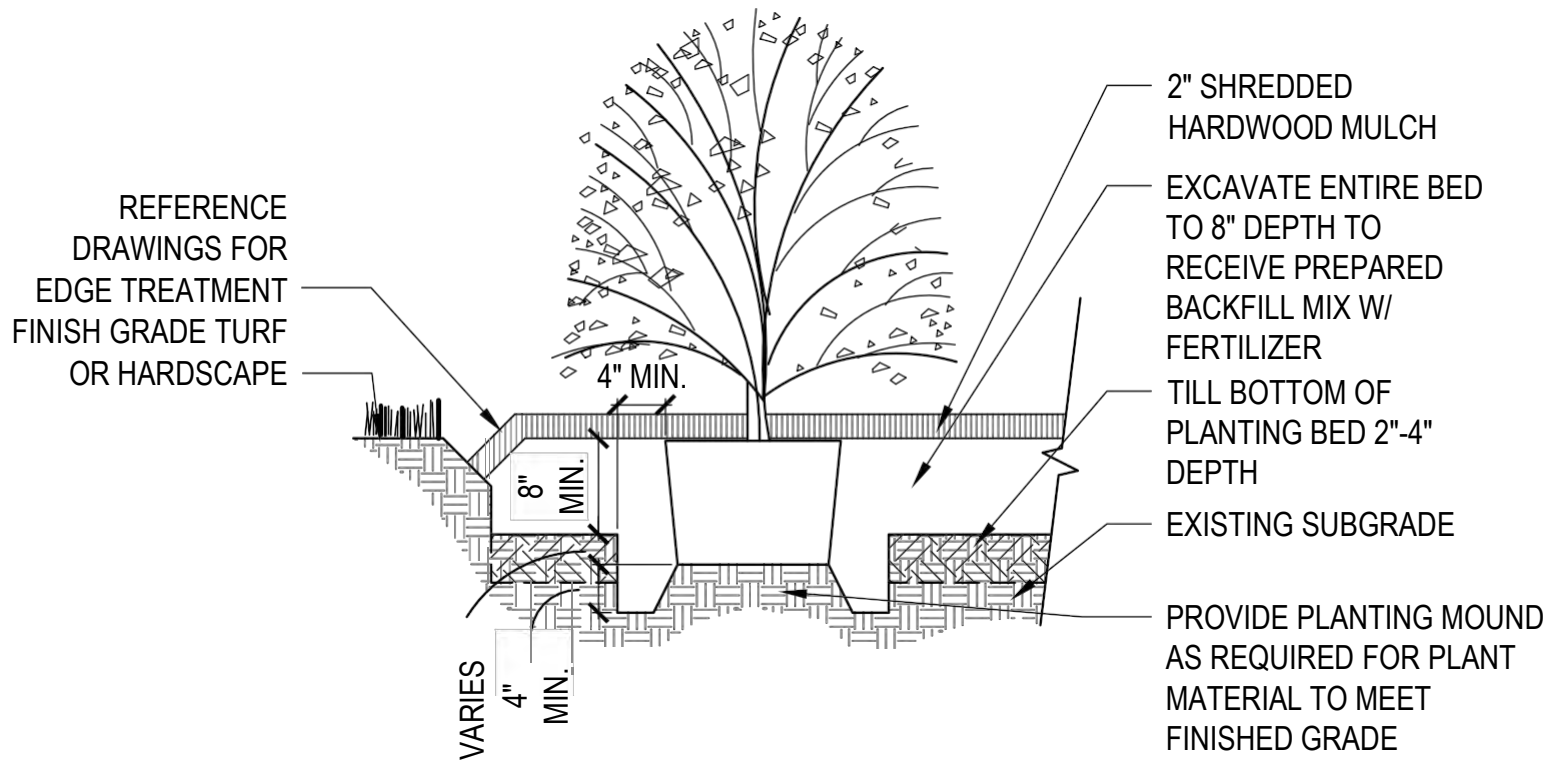
Sheet No:
58
of 218

EXHIBIT D - REFERENCE ONLY



B GROUNDCOVER

3/4" = 1'-0"



C SHRUB

3/4" = 1'-0"

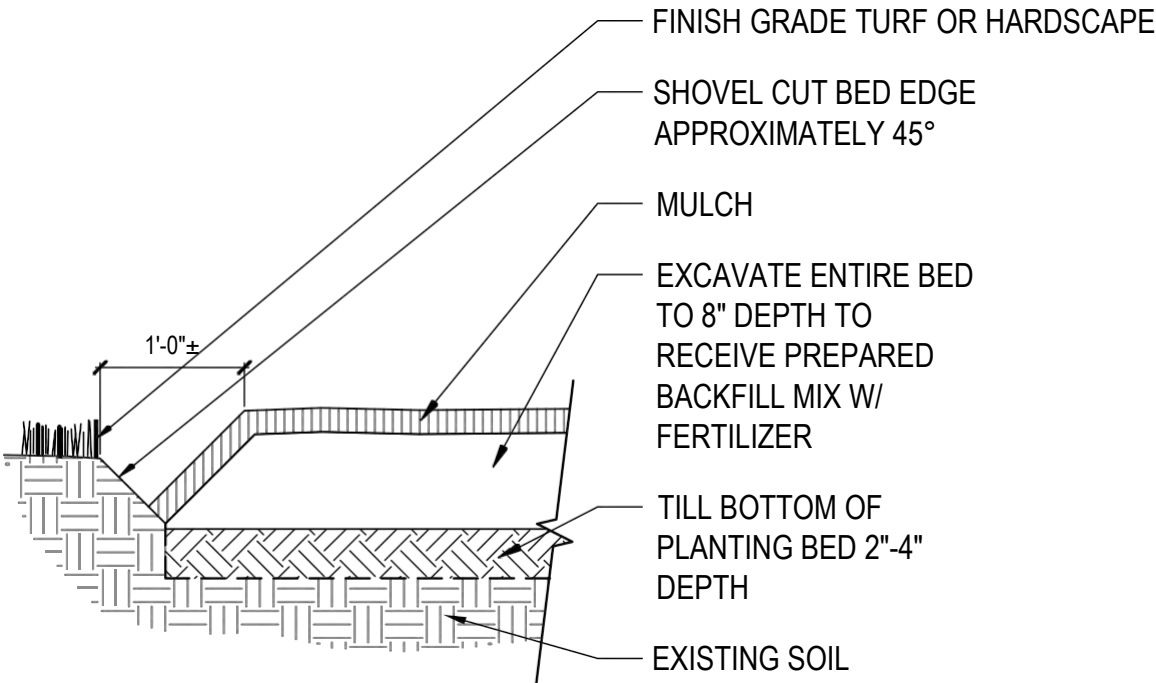
CLARK CONDON

10401 STELLA LINK RD • HOUSTON, TX 77025 • T: 713.871.1414 • CLARKCONDON.COM

PEARLAND LANDSCAPE MAINTENANCE

LANDSCAPE DETAILS

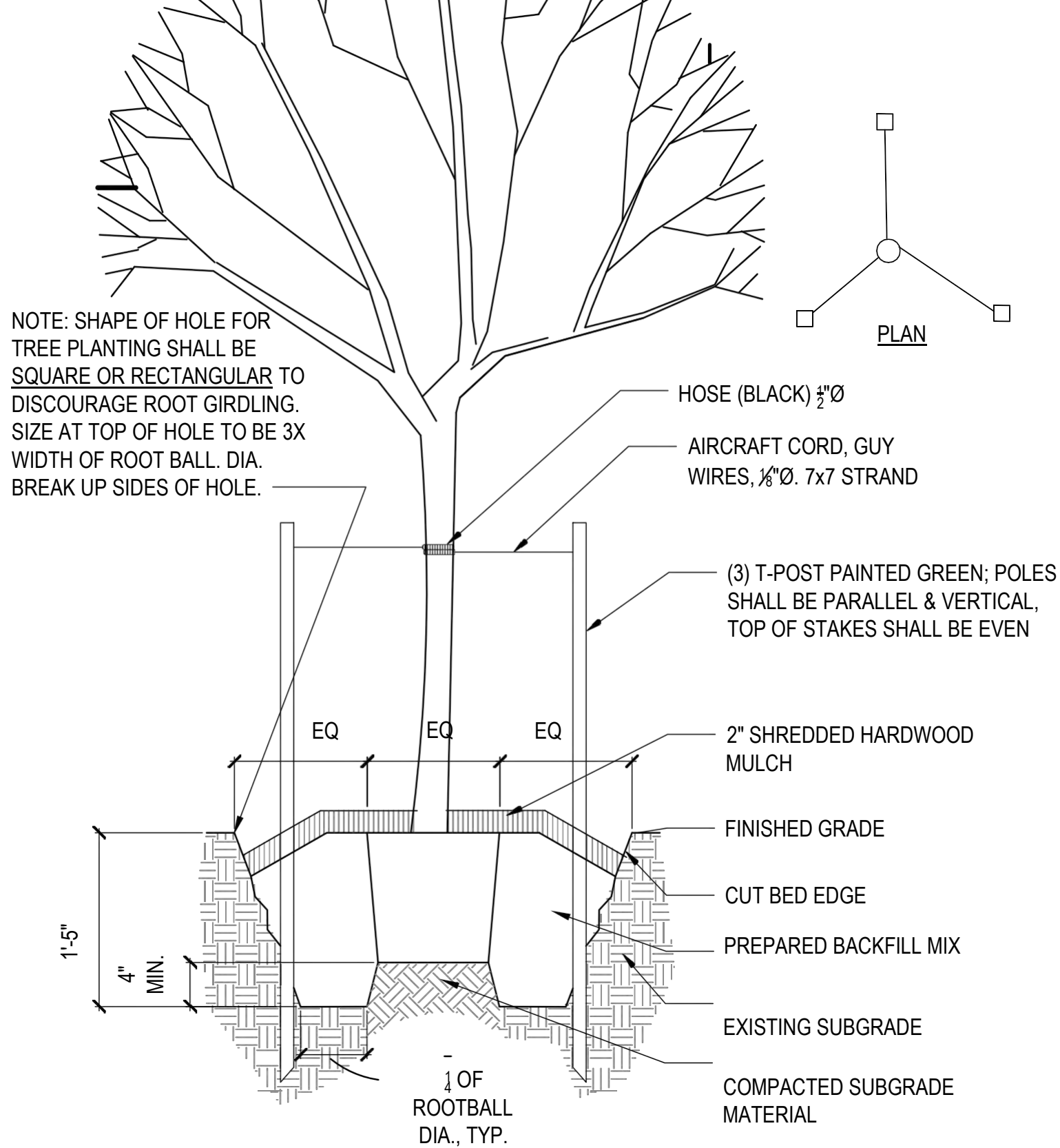
PEDC



A CUT BED EDGE

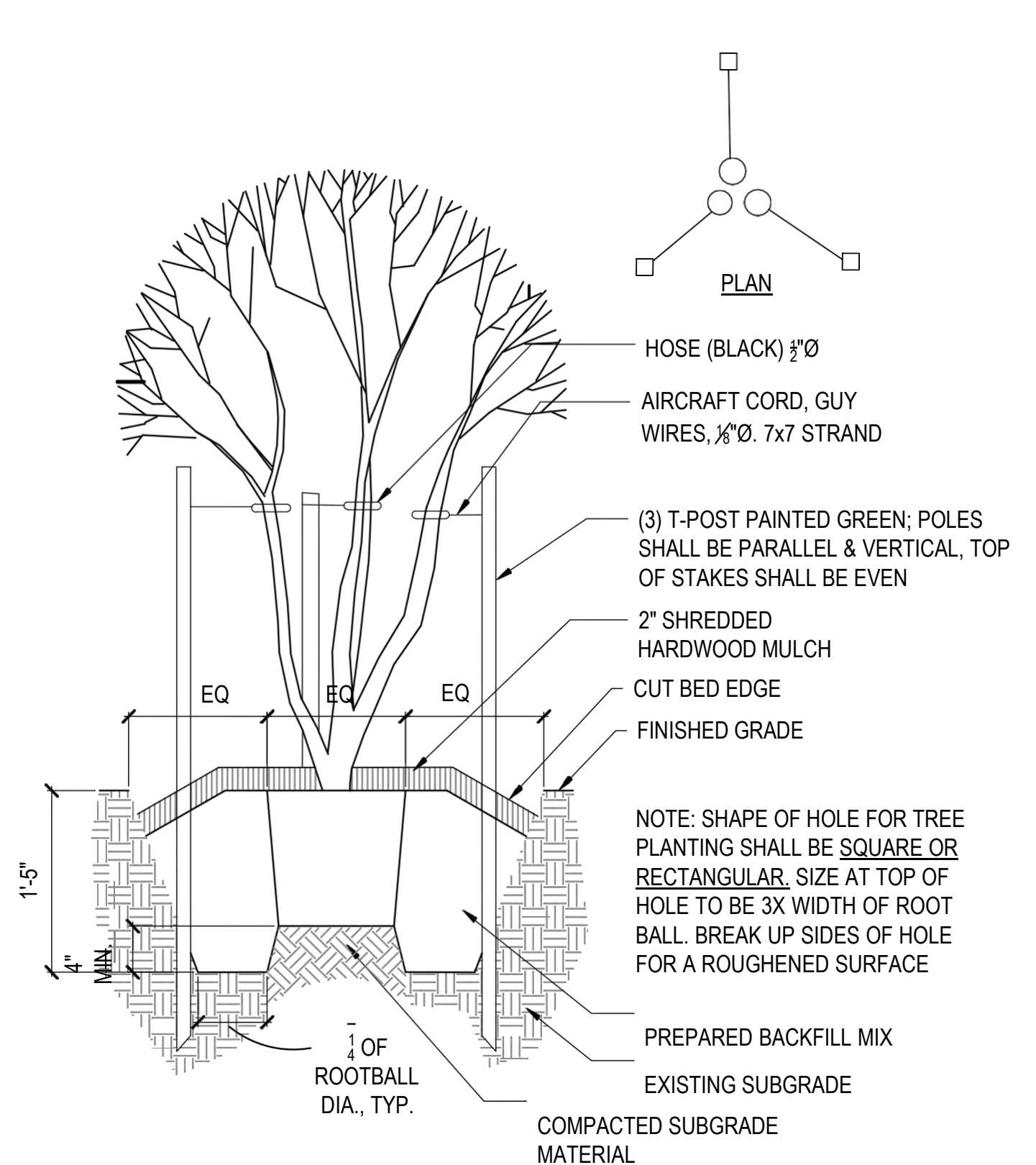
3/4" = 1'-0"

MAINTENANCE DETAILS
PEARLAND, TX
19.05.15
115-046A



TREE PLANTING AND STAKING

1" = 1'-0"



MULTI-TRUNK TREE

1" = 1'-0"

IV. EXHIBITS
EXHIBIT E

SECTION 329300 - PLANTS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Plants.
 - 2. Planting soils.
 - 3. Plant drainage.
 - 4. Steel edging.

1.2 DEFINITIONS

- A. Backfill: The earth used to replace or the act of replacing earth in an excavation.
- B. Finish Grade: Elevation of finished surface adjacent to planting bed.
- C. Prepared Backfill Mix: Soil produced off-site by homogeneously blending mineral soils or sand with stabilized organic soil amendments to produce topsoil or planting soil.
- D. Pesticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a pest. This includes insecticides, miticides, herbicides, fungicides, rodenticides, and molluscicides. It also includes substances or mixtures intended for use as a plant regulator, defoliant, or desiccant.
- E. Pests: Living organisms that occur where they are not desired, or that cause damage to plants, animals, or people. These include insects, mites, grubs, mollusks (snails and slugs), rodents (gophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses.
- F. Topsoil: Standardized topsoil; existing, native surface topsoil; existing, in-place surface soil; imported topsoil; or manufactured topsoil that is modified with soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth.
- G. Root Flare: Also called "trunk flare." The area at the base of the plant's stem or trunk where the stem or trunk broadens to form roots; the area of transition between the root system and the stem or trunk.
- H. Subgrade: Surface or elevation of subsoil remaining after excavation is complete, or the top surface of a fill or backfill before planting soil is placed.
- I. Subsoil: All soil beneath the topsoil layer of the soil profile and typified by the lack of organic matter and soil organisms.

1.3 SUBMITTALS

- A. Work Schedule: Contractor shall submit a work schedule for all planting work prior to purchase and installation of plant material.

IV. EXHIBITS
EXHIBIT E

- B. Product Data: For each type of product indicated, including soils.
- C. Backfill mix data sheets.
- D. Mulch data sheets.
- E. Product certificates.
- F. Maintenance Instructions: Recommended procedures to be established by Owner for maintenance of plants during a calendar year. Including manufacturer's recommendations and instructions recommending procedures to be established by Owner for maintenance of planting work. Submit instructions prior to expiration of Contractor's required maintenance period.

1.4 QUALITY ASSURANCE

- A. Installer: Installation of planting work shall be performed by a single firm specializing in landscape and planting work. Contractor shall be licensed by the Texas Association of Nurserymen, shall possess an agricultural certificate, shall be a licensed pest applicator, and shall have not less than 5 years of experience in this type of work.
- B. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when work is in progress.
 - 1. Pesticide Applicator: State licensed, commercial.
- C. Provide quality, size, genus, species, and variety of plants indicated, complying with applicable requirements in ANSI Z60.1. Provide healthy, vigorous stock, grown in recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, larvae and defects such as knots, sun- scald, injuries, abrasions or disfigurement.
- D. Delivery, Storage and Handling
 - 1. Compliance: Ship planting materials with Certificates of Inspection as required by governing authorities. Comply with all applicable local, state, and federal requirements regarding materials, methods of work, and disposal of excess and waste materials.
 - 2. Substitutions: Do not make substitutions unless approved in writing by Owner's Representative. If specified planting material is not obtainable, submit proof of non-availability to Owner's Representative together with proposal for use of equivalent material. Contractor shall submit proposal in a timely manner as to not impact project completion or installation of other work.
 - 3. Analysis and Standards: All packaged products shall be delivered in original manufacturer's sealed containers. For unpackaged materials, submit analysis by recognized laboratory made in accordance with methods established by the Association of Official Agriculture Chemists, wherever applicable.
 - 4. Inspection: Notify Owner's Representative at least 2 weeks prior to installation, of location where materials that have been selected for planting may be inspected, either at place of growth or the site prior to planting. Plant material will be inspected for compliance with requirements for genus, species, variety, size and quality. Owner's Representative retains right to further inspect trees for size and conditions of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Contractor shall remove

IV. EXHIBITS
EXHIBIT E

rejected trees immediately from site and replace with specified materials. Plant material not installed in accordance with Contract Documents will be rejected.

- E. Contractor shall save receipts of all materials delivered to job site and supply copy of receipts to Landscape Architect. Save bag tags and bottle caps of all materials and provide tags and caps to Landscape Architect.

1.5 WARRANTY

- A. Special Warranty: Installer agrees to repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond Contractor's control.
 - b. Structural failures including plantings falling or blowing over.
 - 2. Warranty Periods from Date of Substantial Completion:
 - a. Trees, Shrubs, Vines, and Ornamental Grasses: 90 days.
 - b. Groundcovers, Biennials, Perennials, and Other Plants: 90 days.
 - c. Annuals: Three months.
 - 3. Remove and replace trees, shrubs and groundcover found to be dead or in unhealthy condition during warranty period. Replace trees, shrubs and groundcover which are in doubtful condition at end of warranty period. However, if in the opinion of Owner, such doubtful material may survive, Contractor shall extend the warranty period for a full growing season. Owner will determine which items are in doubtful condition.

1.6 MAINTENANCE SERVICE

- A. Initial Maintenance Service: Provide maintenance by skilled employees of landscape Installer. Begin maintenance immediately after plants are installed throughout the maintenance period. See Section 329301 – Exterior Landscape Maintenance. The Landscape maintenance period starts at the date of Substantial Completion of the project.
 - 1. Maintenance Period for Trees and Shrubs: 90 days from date of Substantial Completion.
 - 2. Maintenance Period for Groundcover and Other Plants: 90 days date of Substantial Completion.
 - 3. Maintenance Period for New Lawns: 90 days from date of Substantial Completion.

1.7 JOB CONDITIONS

- A. Work Scheduling: Proceed with and complete planting work in a timely manner, working within seasonal limitations for each kind of planting work required.
- B. Planting Time

IV. EXHIBITS
EXHIBIT E

1. Correlate planting with specified maintenance periods to provide maintenance from date of Substantial Completion.
 2. Plant frost-tender trees only after danger of frost is past or sufficiently before frost season to allow for establishment before first frost. Do not plant in frozen ground.
 3. Plant trees, shrubs and groundcover after final grades are established and prior to planting of lawns, unless otherwise directed by Owner's Representative in writing. If planting occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.
- C. Utilities: Refer to drawings and coordinate with Utility Contractor for location of utilities. Contractor shall be responsible for damage to existing utilities and structures.
- D. Security: The Owner will not assume any responsibility for security of any materials, equipment, etc. during construction of the project until project acceptance.
- E. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions beyond the scope of this contract, or obstructions, notify Owner's Representative of such conditions, immediately and before planting.
- F. Pollution Control: Control dust caused by planting operations. Dampen surfaces as necessary. Comply with pollution control regulations of governing authorities.

PART 2 - PRODUCTS

2.1 PLANT MATERIAL

- A. General: Furnish nursery-grown plants true to genus, species, variety, cultivar, stem form, shearing, and other features indicated in Plant Schedule or Plant Legend shown on Drawings and complying with ANSI Z60.1; and with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully branched, healthy, vigorous stock, densely foliated when in leaf and free of disease, pests, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.

2.2 FERTILIZERS

- A. Fertilizer for planting areas shall be a commercial all organic, all-natural biological fertilizer, which includes humates, rock minerals, bio-inoculants and bio-stimulants. Fertilizer shall be granular, uniform in composition, free flowing, and suitable for application with approved equipment. Fertilizer which has been exposed to high humidity and moisture has become caked or otherwise damaged making it unsuitable for use will not be acceptable. Fertilizer shall be Microlife Ultimate (8-4-6) as manufactured by San Jacinto Environmental Supply, 2221 A West 34th Street, Houston, TX 77018, 713-957-0909, or approved equal. Fertilizer shall be mixed into the planting mix at the rate of 20 lbs. per 1000 SF.
- B. Soil Amendment for planting areas shall be granular humates which include trace minerals, humic acid, fulvic acid. Humates soil amendment shall be Microlife Humates Plus 0-0-4 as manufactured by San Jacinto Environmental Supply. Apply at the rate of 10 lbs./1000 sf.

IV. EXHIBITS
EXHIBIT E

- C. Tree Inoculant: Mycorrhizal Inoculant shall be applied to all trees and plant materials 45 gallons and larger. Inoculant shall be Rhizanova Mycorrhizal Inoculant as supplied by San Jacinto Landscape Supply, Houston, TX, at the rate of one 3 oz. dry pack per caliper inch or Mycor Tree Injectable for Endo and Ecto trees and shrubs as manufactured by Plant Healthcare, Inc. Pittsburg, PA, 800-421-9051, applied at the manufacturer's recommended rate.
- E. Root Stimulator shall be liquid root stimulator containing cold-pressed kelp, soluble fish, humic acid, molasses, minerals, natural plant stimulators, natural sugars and chelators, natural enzymes and amino acids. Root stimulator shall be Super Seaweed as manufactured by San Jacinto Environmental Supply or approved equal. Apply at the rate of 2 oz. per gallon of water/per 1000 sf. Apply to thoroughly soak root ball.
- F. Additional Microlife Ultimate fertilizer shall be evenly dispersed through soil in planting pits at the following rate:

<u>Material</u>	<u>No. of ounces per planting pit</u>
30 gallon	3
65 gallon	6

2.3 PLANTING SOILS

- A. Prepared Planting Soil Backfill Mix: Shall be "Garden & Flowerbed Mix" as supplied by Nature's Way Resources, Conroe, TX, "Premium Flower, Bed and Garden Soil" as supplied by The Ground Up, Houston, TX, "Soil Mix with Forest Floor Compost" as supplied by LETCO, Houston, TX, or approved equal commercially available soil mix containing sharp sand, compost and topsoil.
- B. Compost to be included in bed prep/soil backfill mix and for seed preparation shall be leaf mold compost as supplied by Nature's Way Resources, Inc., Conroe, Texas, "handcrafted vegan compost" as supplied by The Ground Up, Houston, Texas, "Forest Floor Compost" as supplied by LETCO, Houston, Texas, or approved equal.
1. Contractor shall furnish copies of manufacturer's literature, certifications, sources, samples, or laboratory analytical data for all items submitted as an approved equal. Certificates of inspection required for transportation shall accompany each shipment of materials. Provide certificates to Owner's Representative.
 2. Testing:
 - a. Chemical and Physical - All compost components shall be tested by the following testing laboratories for conformity to the specifications:
 - b. Texas Plant and Soil Lab, 5115 West Monte Cristo, Edinburg, Texas 78539, (956) 383- 0739; A&L Plains Agricultural Laboratories, Inc., 302 34th Street, Lubbock, Texas 79404, (806) 763-4278; Soil and Plant Laboratory, Incorporated, Post Office Box 153, Santa Clara, California 95052, (408) 243-0330.
 - c. Biological: Soil Food Web. 1128 NE 2nd Street, Suite 120, Corvallis, Oregon 97330, (541) 752-5066.
 - d. If herbicide contamination is suspected, then a radish/rye-grass growth trial must be performed. For delivered material, test one grab sample for each fifty (50) cubic yards of bulk material delivered to the site. Testing will be at the expense of Contractor. Deviations greater than plus or minus twenty (20%) percent from control data may be grounds for rejection of mixes tested. Non-conforming materials shall not be used and shall be removed from the site.

IV. EXHIBITS
EXHIBIT E

3. Biological, physical and chemical specifications:
 - a. Specifications: Stability/Maturity (Carbon Dioxide Evolution Rate) Shall be less than 8 mg CO₂-C per g OM (organic matter) per day and greater than 6.0 on the Solvita™ Compost Maturity Test.
 - b. Biological components:

Bacteria (active) - minimum of 15-25 micrograms per gram of compost; Bacteria (total) - minimum of 150 micrograms per gram of compost; Fungus (active) - minimum of 15-25 micrograms per gram of compost; Fungus (total) - minimum of 150 micrograms per gram of compost; Fungus (hyphal diameter) – should be greater than 1 mm; Protozoa: flagellates - 8,000 or higher per gram of compost; amoebae - 8,000 or higher per gram of compost; ciliates - 50-100 or higher per gram of compost; Root Feeding Nematodes should not be present (beneficial nematodes are a benefit)
4. PHYSICAL Specifications: Moisture Content - 30-60%, wet weight basis; Moisture Holding Capacity - 75-200% of dry weight; Organic Matter Content - 30-70% (40-50% preferred), dry weight basis; Particle Size: Standard Grade Compost - 100% passing through a 1" rectangular mesh screen or smaller; Fine Grade Compost - 100% passing through a 3/8" rectangular mesh screen or smaller; Bulk Density - 700-1,200 (800-1,000 preferred), pounds per cubic yard; Electrical Conductivity (Soluble Salt Concentration) -10 dS/m max., (2.0-3.6 or less preferred).
5. CHEMICAL Specifications: pH 6.0-8.5; Total Salinity-2,000 ppm or lower; Chemical components (H₂O extraction): Nitrogen-10 ppm or higher, Phosphorus-100 ppm or higher, Potassium- 400 ppm or higher, Calcium-2000 ppm or higher, Magnesium-200 ppm or higher, Zinc-6 ppm or higher, Iron-25 ppm or higher, Manganese - 8 ppm or higher, Copper-1 ppm or higher, Sodium-1000 ppm or less, Sulfur-10 ppm or higher Boron-1 ppm or higher.

C. Topsoils

1. Provide topsoil which is fertile, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 2 inches in any dimension and other extraneous or toxic matter harmful to plant growth.
2. Obtain topsoil only from naturally, well-drained sites where topsoil occurs in a depth of not less than 4 inches. Topsoil shall not be collected from sites that are infected with growth of, or the reproductive parts of noxious weeds, especially nut grass. Topsoil shall not be stripped, collected or deposited while wet. Topsoil shall not be excessively acid or alkaline or contain toxic substances which may be harmful to plant growth. Topsoil shall be without admixture of subsoil.
3. Topsoil shall have an organic content between 4% and 8%; pH shall be between 5.5 and 7. Contractor shall submit complete soil testing; minimum of 1 soil test per every 200 cubic yards of topsoil.

- D. Sharp Sand: Sand shall be thoroughly washed, coarse, graded sharp, construction or brick sand, free of clay balls, weeds, and grass. So-called cushion sand, blow sand, or creek silt is not acceptable for substitution where sharp sand is specified.

2.4 MULCHES

- A. Mulch for Top Dressing: Shredded hardwood mulch free from deleterious materials and suitable for top dressing of trees, shrubs or plants. Mulch shall be composted, well-rotted, blended double-shredded hardwood mulch, dark brown in color. Mulch pieces shall be sized to pass through a 2" screen. No dyes, mushroom compost or other additives shall be used to artificially enhance the appearance of the level of composting. Contractor may identify areas no longer in need of mulch and submit for Owner approval.
1. Maintain a minimum mulch depth of 2". Mulch data sheet to be submitted and approved by Owner prior to installation.
 2. Strictly maintain a 4' diameter mulch ring at the tree trunk. Do not deviate from this diameter.
 3. The root flare of trees and their bubblers should be visible after mulch cultivation or application.

IV. EXHIBITS
EXHIBIT E

2.5 WEED-CONTROL BARRIERS

- A. Steel Edging: Steel edging shall be 3/16" thick x 4"; Color: Black; by Ryerson, Inc., or approved equal.
- B. Weed Barrier: Woven soil separator/weed barrier to be installed on the path system shall be Pro 5 Weed Barrier as manufactured by DeWitt Company.

2.6 PLANTING DRAINAGE

- A. Drainage Gravel: Drainage gravel shall be AASHTO #57, 1/2" – 1-1/2" crushed angular, clean washed drainage stone.
- B. Inspection tube – 3" diameter Polyvinyl Chloride (PVC) pipe shall be SDR 35 and conform to ASTM D 3034.
- C. Sock Pipe: Sock pipe for drainage in planting areas shall be 4" diameter ADS perforated flex pipe with soil separator cloth.
- D. Soil Separator or Filter Fabric shall be Mirafi 140N non-woven geotextile fabric, with permeability minimum 135 gallons of water per min. per square foot or approved equal.

2.7 PESTICIDES

- A. General: Pesticide registered and approved by EPA, acceptable to authorities having jurisdiction, and of type recommended by manufacturer for each specific problem and as required for Project conditions and application. Do not use restricted pesticides unless authorized in writing by authorities having jurisdiction.

2.8 HERBICIDE

- A. Pre-emergent herbicide shall be Team Pro as manufactured by Bonus Corp Fertilizer, Houston, TX, or approved equal. Apply pre-emergent over all planting areas prior to spreading mulch at the rate of 7 lbs./1000 sq. feet.
- B. If necessary, contact herbicide shall be as necessary to treat weeds. Apply Roundup only if necessary and if approved by owner or owner's representative. Do not exceed manufacturer's recommended rate of application.

2.9 STAKING AND GUYING

- A. Reference drawings for staking and guying material.

PART 3 - EXECUTION

3.1 PLANTING

- A. Prepare planting areas and lawn areas as specified.

IV. EXHIBITS
EXHIBIT E

B. Excavation for Trees and Large Shrubs

1. Excavate pits with sloped sides and with bottom of excavation slightly raised at center to provide proper drainage. Make tree pits square/rectangular, not round. Rough up sides of pit to help discourage girdling of roots.
2. Make excavations at 3 times as wide as the ball diameter and equal to the ball depth, plus 4" allowance for setting of ball on a layer of compacted backfill. Planting holes shall be square or rectangular in shape to discourage tree girdling.
3. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill.

C. Planting Trees and Large Shrubs

1. Set stock on layer of compacted prepared planting soil backfill mix, plumb and in center of pit at same elevation as adjacent finished planting grades. Distribute additional fertilizer evenly throughout backfill mix in hole at specified rate. Place prepared planting soil backfill mix around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. For trees, apply Tree Inoculant at rate specified according to size of tree at approximately 1/3 depth of root ball and place remainder of backfill. Repeat watering until no more water is absorbed. Dish top of backfill to allow for mulching.
2. Prune, thin out, and shape shrubs in accordance with standard horticultural practice. Prune shrubs to retain natural character. Remove and replace excessively pruned or malformed stock resulting from improper pruning.
3. Stake and guy trees as per the drawings.

D. Excavation and Soil Preparation for Shrubs/Groundcovers in Planting Beds

1. Excavate entire planting beds to a depth of 8 inches or as necessary to achieve grade. Planting beds to have vertical sides.
2. Dispose of subsoil removed from planting beds excavations. Do not mix with planting soil or use as backfill.
3. Till bottom of planter 2"-4", leave bottom of planter un-compacted. Backfill with minimum of 8" of prepared backfill mix.
4. Spread fertilizer – Microlife Ultimate 8-4-6 and Humates Plus 0-0-4 at specified rates across the entire bed area to be planted.

E. Planting of Trees and Shrubs in Beds

1. Set stock on layer planting soil mixture, plumb and at the same elevation as adjacent finished planting grades. Place fertilizer tablets spaced in planting bed at specified rate. Place additional backfill mix around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. Water entire bed thoroughly, adjust plant if settling occurs.

F. Planting of Shrubs in Beds

1. Set stock on layer of prepared planting soil backfill mix, plumb and slightly above adjacent finished planting grades. Place additional prepared planting soil backfill mix around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. Layer and distribute ad-

IV. EXHIBITS
EXHIBIT E

ditional fertilizer in planting hole at specified rate. Water entire bed thoroughly, adjusting plant if settling occurs.

- G. Existing Trees
 - 1. Loosen soil around base of existing trees.
 - 2. Fertilize with Microlife 8-4-6 at the rate of 1 lb. per tree, spread approximately 25 SF area.
 - 3. Mulch as per new tree planting.

3.2 PLANT MAINTENANCE

- A. Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.
- B. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence.
- C. Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of pesticides and reduce hazards.
- D. Apply pesticides and other chemical products and biological control agents in accordance with authorities having jurisdiction and manufacturer's written recommendations. Coordinate applications with Owner's operations and others in proximity to the Work. Notify Owner before each application is performed.
- E. Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.

END OF SECTION 329300

IV. EXHIBITS
EXHIBIT F
Landscape Maintenance Monthly Observation Report – Elements to Include

PEDC expects thorough, informative and transparent reporting by and communication with its selected vendors. Provide a sample report as an attachment to your bid or a template report you plan to use. Otherwise, this outline represents the requested format for reports.

Summary Memo with:

- REPORT TITLE: (Type of Report – See Spec and RFP for Required Reporting)
- Date of Report:
- To:/From: (Company/Company)
- RE: (Specify location(s) observed in the report)
- Present on Site: (Contact(s) with certificate and license info)
- Summary of Observations: Narrative supported by visuals
- List of Attachments (including pictures and diagrams, travel logs, receipts for products used – or other proof of product use)

☐ All Contractor Company, Present-on-site, and Report Preparer Contact information

- Email
- Phone
- License Number
- Certifications

☐ Diagram, drawing or map of observation site with areas observed both shown and discussed in a brief summary. If multiple reports combined into one, section them by activity:

- Irrigation repairs made based on third party inspections
- landscape services provided
- testing
- herbicide report
- etc.

☐ Service Documentation with dates, times and durations of service visits including number of visits and duration of each visit by person or group of person(s).

- Travel Logs
- Pictures of test or service equipment on site
- Receipts for products used during service
- Other Documentation as requested

☐ Pictures and detailed notes of the observations of areas after services, especially noting any problems or exceptional progress.

Communication - Contractor will inform PEDC:

- in advance of all contracted and proposal services of the date and, if possible, the time crews are scheduled to be onsite.
- when plant material is witnessed to be dying off during monthly services.

IV. EXHIBITS

EXHIBIT F

Landscape Maintenance Monthly Observation Report – Elements to Include

- when damaged landscape or ruts are discovered - as quickly as feasibly possible, especially in regard to car damage. Photos of impacted areas submitted with any and all proposals would be helpful.
- prior to application of herbicides and insecticides. Owner prefers, when possible, to have someone present for chemical applications.
- PEDC will set up a virtual WebEx meeting to discuss an annual plan for maintenance and discuss submitted proposals to remedy issues identified.
- PEDC schedules monthly check-ins virtually via WebEx to increase communication after quarterly inspections, determine progress on addressing items in quarterly reports and discuss submitted proposals to remedy issues identified. PEDC is also willing to setting up a meeting to go over other topics if needed, such as reporting expectations or the annual plan for maintenance.